



**CITY OF WILLISTON  
COMMUNITY REDEVELOPMENT AGENCY  
AGENDA**

**Monday, April 10, 2023 5:30 PM  
City Council Chambers**

**BOARDMEMBERS**

**Nick Williams, Chair  
Ken Schwiebert, Vice Chair  
Jonathan Lewis, Treasurer  
Vacant  
Mike Langston**

**STAFF**

**Laura Jones, CRA Director  
Nicole Bouse, Secretary  
Kiersten Ballou, City Attorney**

**CALL TO ORDER**

**ROLL CALL**

**APPROVAL OF PRIOR MINUTES**

1. March 13, 2023

**CONSENT AGENDA**

2. None

**TREASURER'S REPORT**

3. Finance Report

**PUBLIC COMMENTARY**

**OLD BUSINESS**

4. Oelrich Construction – Approve COP #15, Additional Awning Labor
5. Façade Grant Application -Discussion

**NEW BUSINESS**

6. CRA Annual Report
7. Oelrich Construction – Approve COP #20 revised, Parcel O North Wall Lightning

**STAFF ANNOUNCEMENTS**

**OTHER BUSINESS**

**ADJOURNMENT**

**NEXT CRA MEETING DATE**

**May 8, 2023 at 5:30 PM**

Notice:

If a person decided to appeal any decision made by this committee with respect to any matter considered at such meeting or hearing, he will need a record of the proceeding, and for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Minutes of the CRA meeting may be obtained from the Department of Community Development. The minutes are recorded, but not transcribed verbatim. Persons requiring a verbatim transcript may make arrangements with the City Clerk to duplicate the recordings or arrange to have a court reporter present at the meeting. The cost of duplication and/or court reporter will be borne by the requesting party.

In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the City Clerk's office no later than 5:00 P.M. on the day prior to the meeting.



**CITY OF WILLISTON  
COMMUNITY REDEVELOPMENT AGENCY  
MINUTES**

**Monday, March 13, 2023, 5:30 PM  
City Council Chambers**

**BOARDMEMBERS**

**Nick Williams, Chair  
Ken Schwiebert, Vice Chair  
Jonathan Lewis, Treasurer -Late  
Art Konstantino- Late  
Mike Langston**

**STAFF**

**Laura Jones, CRA Director  
Nicole Bouse, Secretary  
Kiersten Ballou, City Attorney-  
Excused**

**CALL TO ORDER - 5:30 PM**

**ROLL CALL**

Ms. Nicole Bouse, Secretary took roll call. Mr. Art Konstantino and Mr. Jonathan Lewis arrived late. Mrs. Kiersten Ballou is excused.

**APPROVAL OF PRIOR MINUTES**

1. February 13, 2023

Dr. Ken Schwiebert moved to accept the minutes. Mr. Mike Langston seconded.  
Motion passed 3-0.

**CONSENT AGENDA**

2. None

**TREASURER'S REPORT**

3. Finance Report- Ms. Laura Jones explained that they are about 40% of their budget for the Fiscal year so far.

**PUBLIC COMMENTARY**

**OLD BUSINESS**

4. Oelrich Construction – Approve Pay Application #009 for \$75,365.31  
Dr. Schwiebert moved to approve pay application #009 for \$75,365.31. Mr. Langston seconded. Motion passed 3-0.

5. Oelrich Construction – Approve COP #13- Additional Contingency (\$16,500)  
Dr. Schwiebert moved to approve COP #13. Mr. Langston seconded. Motion passed 4-0.
6. Oelrich Construction – Approve COP #20- Lighting for Parcel O North wall -  
Approve Option 1 or 2.  
Item tabled; board would like another design options.

## **NEW BUSINESS**

7. Façade Grant Application-Gainesville Smoke Shop- No motion made.

**STAFF ANNOUNCEMENTS** – Ms. Jones explained that the CRA will be taking over the Memorial Brick Program from the Chamber of Commerce, and that the City Utility Department will be installing the bricks purchased for Veterans Park.

Mr. Donald Barber, City of Williston Utility Supervisor, let the board know that they had planted some Jasmine plants at Firemen’s Park.

Dr. Schwiebert suggested that the Façade Grant application be updated.

Mr. Langston asked about installing canopies at Firemen’s Park to help shade from the sun. Ms. Jones explained that once the construction on the parking lot is finished then they would put them up.

**OTHER BUSINESS - None**

**ADJOURNMENT – 6:24 PM**

**NEXT CRA MEETING DATE**

**April 10, 2023, at 5:30 PM**

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**Nick Williams, Chair**

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**Nicole Bouse, Recording Secretary**

#### Notice

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CRA FUND  
ACTUAL VS BUDGET  
50.00 % Yr Complete For Fiscal Year: 2023 / 3

	G/L NO.	DESCRIPTION	ANNUAL BUDGET	ACTUAL YTD	VARIANCE	% OF BUDGET	
REVENUES							
	403-331-200	TAX INCREMENTAL REVENUE - CITY	170,991.00	56,997.00	(113,994.00)	33.33 %	
	403-331-300	TAX INCREMENTAL REVENUE - COUNTY	227,988.00	227,988.14	0.14	100.00 %	
	403-360-100	MISC INCOME	0.00	345.00	345.00	0.00 %	
	403-361-100	INTEREST INCOME	150.00	11.41	(138.59)	7.61 %	
	403-384-000	OTHER FINANCING SOURCES	117,035.00	0.00	(117,035.00)	0.00 %	
	403-384-200	LOAN PROCEEDS	1,000,000.00	0.00	(1,000,000.00)	0.00 %	
	403-385-000	SPECIAL EVENTS	500.00	0.00	(500.00)	0.00 %	
TOTAL REVENUES			1,516,664.00	285,341.55	(1,231,322.45)	18.81 %	
=====							
EXPENDITURES							
OPERATING / PERSONAL SERVICES							
	403-552-010-014	OVERTIME	150.00	9.70	(140.30)	6.47 %	
	403-552-010-021	PAYROLL TAXES	3,663.00	1,839.44	(1,823.56)	50.22 %	
	403-552-010-022	RETIREMENT	477.00	246.42	(230.58)	51.66 %	
	403-552-010-023	LIFE & HEALTH INSURANCE	10,921.00	5,717.21	(5,203.79)	52.35 %	
	403-552-010-024	WORKER'S COMPENSATION	1,567.00	569.12	(997.88)	36.32 %	
	403-552-010-112	SALARIES & WAGES	47,730.00	24,641.99	(23,088.01)	51.63 %	
	403-552-010-113	OTHER SALARIES	0.00	22.50	22.50	0.00 %	
	403-552-030-031	PROFESSIONAL SERVICES	15,000.00	0.00	(15,000.00)	0.00 %	
	403-552-030-032	ACCOUNTING AND AUDIT	7,300.00	0.00	(7,300.00)	0.00 %	
	403-552-030-036	FINANCIAL SERVICES	7,000.00	2,168.88	(4,831.12)	30.98 %	
	403-552-030-040	TRAVEL AND PER DIEM	3,000.00	0.00	(3,000.00)	0.00 %	
	403-552-030-042	POSTAGE	200.00	0.00	(200.00)	0.00 %	
	403-552-030-154	DUES AND SUBSCRIPTIONS	620.00	175.00	(445.00)	28.23 %	
	403-552-030-155	ANNUAL FILING FEE	175.00	0.00	(175.00)	0.00 %	
	403-552-030-248	ADVERTISING	1,000.00	0.00	(1,000.00)	0.00 %	
	403-552-030-254	TRAINING - SCHOOLS & SEMINARS	3,000.00	0.00	(3,000.00)	0.00 %	
	403-552-030-352	MATERIAL AND SUPPLIES	15,000.00	0.00	(15,000.00)	0.00 %	
	403-552-030-400	SPECIAL EVENTS	750.00	1,149.50	399.50	153.27 %	
	403-552-080-082	CRA - AID TO PRIVATE ORGANIZATIONS	25,000.00	750.00	(24,250.00)	3.00 %	
TOTAL OPERATING & PERSONAL			142,553.00	37,289.76	(105,263.24)	(26.00)%	
DEBT SERVICE							
	403-552-090-015	INTEREST EXPENSE - DRUMMOND LOAN	25,725.00	0.00	(25,725.00)	0.00 %	
	403-552-090-016	BANK LOAN FEE	1,750.00	0.00	(1,750.00)	0.00 %	
TOTAL DEBT SERVICE			27,475.00	0.00	(27,475.00)	0.00 %	
CAPITAL OUTLAY							
	403-552-060-062	CAPITAL OUTLAY - SIDEWALKS	0.00	299.99	299.99	0.00 %	
	403-552-060-064	CAPITAL OUTLAY - CONTINGENCY	137,356.00	0.00	(137,356.00)	0.00 %	
	403-552-060-065	CAPITAL OUTLAY - CRA PROJECTS	1,000,000.00	391,737.67	(608,262.33)	39.17 %	
	403-552-060-067	BLOCK 12 PARKING LOT	209,280.00	16,200.00	(193,080.00)	7.74 %	
TOTAL CAPITAL OUTLAY			1,346,636.00	408,237.66	(938,398.34)	(30.00)%	
TOTAL EXPENDITURES			1,516,664.00	445,527.42	(1,071,136.58)	(29.00)%	

CRA FUND  
ACTUAL VS BUDGET  
50.00 % Yr Complete For Fiscal Year: 2023 / 3

	G/L NO.	DESCRIPTION	ANNUAL BUDGET	ACTUAL YTD	VARIANCE	% OF BUDGET	
		EXCESS REV. OVER/UNDER EXPEND.	0.00	(160,185.87)	(160,185.87)	0.00 %	

**Date: April 10, 2023**

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**CRA AGENDA ITEM**

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**TOPIC: Oelrich COP #15**

**BACKGROUND / DESCRIPTION:**

COP# 15- Additional Awning Support Labor

COP #10 was for moving the awning posts out, as well as making the excavation holes larger and deeper. Once the subcontractor started digging, they discovered the unsuitable nature of the existing soils, resulting in the work taking much longer and requiring additional manpower. COP #015 is for this additional labor.

**LEGAL REVIEW: NA**

**FISCAL IMPACTS: \$14,700.00 (from contingency)**

**RECOMMENDED ACTION: Approve COP# 15**

**ATTACHMENTS: COP #015**

**CRA BOARD ACTION:**

\_\_\_\_\_ **APPROVED** \_\_\_\_\_ **DISAPPROVED**





February 22, 2023

Laura Jones  
City of Williston  
50 NW Main Street  
Williston, FL 32696  
(352) 528-3060

**Re: 22.01.026 Williston Arcade and Main Street Enhancements  
COP #015 – Additional Awning Support Labor (COP #010)**

Ms. Jones,

Included herein, please find Change Order Proposal #015. This COP is for additional labor costs incurred by the concrete subcontractor while excavating the redesigned awning footers, per COP #010. Existing soil conditions required additional manpower and days to complete. Costs are recommended to come from Contingency. Please see the breakdown below for more information.

Subcontractor	Cost	Schedule Impact
Green Construction & Development	\$ 14,700.00	0 days
General Conditions	\$ 0.00	
General Liability Insurance	\$ 0.00	
P&P Bond	\$ 0.00	
CM Fee	\$ 0.00	
<b>The total cost and schedule impact of this COP is: \$ 14,700.00 0 days</b>		

Thank you for your attention to this proposal. If you require any further information, please feel free to contact me.

Sincerely,  
**Oelrich Construction, Inc.**

Lourdes Ptschelinzew  
Assistant Project Manager

Approved By:
Signature:
Date:

275 NW 137th Drive  
Suite A  
Jonesville, Florida 32669

[oelrichconstruction.com](http://oelrichconstruction.com)

352-745-7877

CGC1510579

# CHANGE ORDER PROPOSAL

**GREEN CONSTRUCTION & DEVELOPMENT, INC.**

DATE: 2/20/2023

COMMERCIAL | INDUSTRIAL | CONCRETE

COP #: 03

## BILL TO

Javell Woods  
Oelrich Construction  
275 NW 137th Drive, Suite A  
Jonesville, FL 32669  
352/474-1735

## SHIP TO

Damian Riley  
Oelrich Construction  
39 North Main Street  
Williston, FL  
352/507-3330

## JOB

### Williston Main Street Improvements

DESCRIPTION	UNITS	AMOUNT
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#### Canopy Footing Soil Conditions T&M

Additional manpower and concrete: excavate by hand ILO w/ machine, excavate limerock ILO of clean fill, add 5 CY of concrete to fill holes ILO clean fill (none available). See attached.

#### Labor:

Actual time tracked	274 MH	\$13,700.00
Management & Supervision Time - \$500 Waived	5 MH	\$0.00

#### Material:

Added Concrete Materials	5 CY	\$1,000.00
Misc. materials: Gloves, Hand Tools, Saw Blades, Drill Bits, Lubricants, Fuel, Safety Supplies, Cleaning Supplies, Fasteners, Etc. \$1,395 Waived	\$5/MH	\$0.00

#### Equipment:

N/A	0 LS	\$0.00
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Excludes additional mobilization, separate pour, demo, rough-grade, sitework, piping, masonry, premium time, accelerated schedule, joint sealant, all other scope not specifically included above.

<b>Subtotal</b>		<b>\$14,700.00</b>
Overhead and Profit - \$2,205 Waived	0%	\$0.00
<b>TOTAL</b>		<b>\$14,700.00</b>

Please issue corresponding Contract Change Order prior to next billing cycle.

**AVID | ACCOUNTABLE | PROFESSIONAL | CONCRETE SPECIALISTS**



**WWW.GREENCONSTRUCTION1.COM**

**FB.COM/GREENCONSTRUCTION1**

**LICENSE # CGC-1522660**















# Williston Arcade & Main Street Enhancements

## CHANGE ORDER PROPOSAL LOG

Wednesday, February 22, 2023



COP	Description	Status	Estimated Cost		Submitted Cost		Executed Changes		Schedule Impact	Date Submitted	Date Approved	CO#
			CM Contingency	Contract	CM Contingency	Contract	CM Contingency	Contract				
			-	-	-	-	-	-				
001	Adjusted Permit Fee Costs	EXECUTED	-	-	-	-	\$ 4,604.04	-	0.0	7/28/2022	8/8/2022	-
002	Added Framing due to Termite Damage	EXECUTED	-	-	-	-	\$ 1,200.00	-	0.0	7/28/2022	8/8/2022	-
003	Added Performance & Warranty Bond	EXECUTED	-	-	-	-	\$ 151.00	-	0.0	8/22/2022	9/15/2022	-
004	Pilaster Column Modifications (RFI #8) & Existing Conditions	EXECUTED	-	-	-	-	\$ 9,058.00	-	0.0	8/22/2022	9/15/2022	-
005	Emergency Lighting Requirement	EXECUTED	-	-	-	-	\$ 2,038.00	-	0.0	8/22/2022	9/15/2022	-
006	Parcel O East Wall Reconstruction	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
007	Added Sabal Palms-	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
008	Schedule Impact from Parcel O, Weather Delays & Water Leak	OPEN	-	\$ -	-	-	-	-				
009	Arcade Trim Widening (RFI #10)	EXECUTED	-	-	-	-	\$ 500.00	-	0.0	10/18/2022	10/20/2022	-
010	Awning Support Modifications	EXECUTED	-	-	-	-	\$ 9,590.00	-	0.0	10/21/2022	10/21/2022	-
011	Awning Water Exits (RFI #9)	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
012	Added Skylight Trim (RFI #15)	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
013	Additional Contingency	SUBMITTED	-	-	\$ (16,500.00)	-	-	-	0.0	2/22/2023		
014	Repurposed Paver Installation	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
015	Additional Awning Support Labor (COP #010)	SUBMITTED	-	-	\$ 14,700.00	-	-	-	0.0	2/22/2023		
016	Added Louvers	EXECUTED	-	-	-	-	\$ 1,205.00	-	0.0	12/2/2022	12/13/2022	
017	Alternate Breaker Service Disconnects	EXECUTED	-	-	-	-	\$ (1,720.00)	-	0.0	12/21/2022	12/27/2022	
018	Mural Painting Contract Deduct	SUBMITTED	-	-	-	\$ (21,700.00)	-	-	0.0	2/22/2023		
019	Masonry Patching at Existing Conditions	EXECUTED	-	-	-	-	\$ 1,822.00	-	2.0	1/31/2023	2/14/2023	
020	Parcel O North Wall Lighting	OPEN	-	-	-	-	-	-				
021			-	-	-	-	-	-				
022			-	-	-	-	-	-				
023			-	-	-	-	-	-				
024			-	-	-	-	-	-				
025			-	-	-	-	-	-				
SUBTOTALS			0.00	0.00	(1,800.00)	(21,700.00)	28,448.04	0.00	2.00			

GMP AMOUNT

CURRENT TOTALS

ESTIMATED AMOUNTS

	CONTINGENCY	GMP	CONTRACT TIME
Original Contract Amount:	28,778.00	761,960.00	84.00
Total with Currently Executed Changes:	329.96	761,960.00	86.00
Total If All Estimated & Submitted Costs Were Approved:	2,129.96	740,260.00	

**Date: April 10, 2023**

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**CRA AGENDA ITEM**

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**TOPIC: Façade Grant Application Discussion**

**BACKGROUND / DESCRIPTION:**

The CRA Board asked for some revisions to be made to the application, specifically eliminating the sign criteria. Those changes have been made and the Board thought it was a good time to make any other revisions. Attached you will find the Alachua CRA District's Business Façade Grant to review for ideas.

**LEGAL REVIEW: NA**

**FISCAL IMPACTS: NA**

**RECOMMENDED: Discussion**

**ATTACHMENTS: Façade Grant Application, Guidelines, and Alachua CRA District's Business Façade Grant**

**CRA BOARD ACTION:**

\_\_\_\_\_ **APPROVED** \_\_\_\_\_ **DISAPPROVED**





## **WILLISTON CRA FAÇADE**

Our Facade grant is designed to raise the level of beauty of eligible structures in the City of Williston. This packet is designed to give the building owner all the information necessary to move toward obtaining a grant.

This grant is the responsibility of the CRA which also works with our City Planner. It is the responsibility of the building owner to present questions, if any, to the CRA Board.

Once the answers to the questions are administered, the building owner will begin the entire process of gathering quotes with great detail as necessary.

Upon completion of the written material and drawings, the building owner must make an appointment with the CRA Board to appear before Board Members for approval. There is a grading system that is used to provide as a guide toward the implementation and acceptance of the grant.

Once the CRA approves the grant, the building owner will be notified. The building owner will then begin the work with the chosen contractor or contractors specified in the acceptance documents.

The grant money will be given in the form of a check from the City of Williston once the work is finished, inspected and approved by an agent of the CRA or any portion thereof.

The CRA thanks you in advance for doing all you can to make Williston, FL a great place to live, work and visit. We at the CRA are sincerely dedicated to the people of the City of Williston and all those that pass through as they enjoy our amenities, services and businesses that serve others.

Sincerely,

Nick Williams, CRA Chair

WILLISTON  
COMMUNITY REDEVELOPMENT AGENCY

DOWNTOWN  
REDEVELOPMENT DISTRICT

WILLISTON CRA FAÇADE  
IMPROVEMENT GUIDELINES

Available to businesses/owners within the Downtown Redevelopment District

Adopted January 2, 2007  
Revised April 2022

50 Northwest Main Street  
Williston, FL 32696

352-528-3060 (phone)  
352-528-2877 (fax)

## **Facade Improvement Incentive Program**

### **I. Purpose**

The Williston Community Redevelopment Agency (CRA) is offering a competitive matching grant program as an incentive to owners of buildings and businesses to improve building facades within the Downtown Redevelopment District. Eligible façade improvements may include removing old façade structures, installing new or replacement awnings and/or canopies, and performing other improvements in a manner consistent with the City Land Development Code, and all applicable regulations codes and ordinances.

### **II. Applicant Eligibility and Requests for Funding**

Building owners, or business owners occupying storefronts in an eligible building who have obtained written approval from building owners are invited to participate in the program. Applicants must use the grant proceeds only on buildings within the Downtown Redevelopment District. Noble and Main Street will be considered target corridors for this program. Applicant must match grant funds dollars-for-dollar (1:1).

1. Each storefront will be eligible for a maximum grant of up to \$5,000. If the building, regardless of the number of storefronts, has a second elevation that can be seen from the targeted corridor the building would be eligible for another \$5,000. A storefront is defined as having a street address and public access to the business.
2. The maximum grant award is \$10,000.00. No more than two sides of any one business/storefront can be included in the grant for consideration by CRA. No roofing expenses are allowed to be included in the grant. For example: Two public entrances are allowable, or one public entrance and one side elevation are allowable (if the side elevation is clearly visible in the targeted corridor). A strip mall scenario would include eligibility of each individual storefront plus one elevation. Qualification for improvements to two facades does not guarantee funding for two facades.
3. The number and value of grant awards is variable and subject to annual funding availability. CRA maintains discretion over the number of awards allocated during a grant cycle.
4. Grant awards shall not exceed 50% of the project cost.
5. The dollar-for-dollar match provided by the Grant Recipient shall be cash value for goods and/or services.
6. Work done by business or building owner will not be funded for labor.
7. Applications will be evaluated by CRA staff according to a point system. Points will be assigned as follows:
  - Project transforms the building from worst case to best case (5 points)
  - Project is located along Noble Avenue or Main Street (3 points)
  - Project advances an appropriate style for this building (3 points)
  - Project preserves or restores original decorative building elements (5 points)

- Project is needed to attract or retain one of the following tenants: restaurant/café, retail, office, etc. (5 points)

- Please include a letter from business committing to occupy the storefront.

- Project corrects code deficiencies related to the façade (3 points)
- Project includes removing non-original masonry or wood cladding (3 points)
- The project is part of a complete restoration that returns a vacant storefront of upper story space to productive use (3 points)
- Additional points are given for individual improvements, i.e. 1 point each for painting, awning, windows, doors, etc.

### **III. Restrictions on Funding**

*Funding is for façade work only:* Only costs related to exterior work that is visible from the target corridors are eligible for the façade grant program.

### **IV. Application Deadline**

Applicants must submit their applications to the CRA no later than **4:00 PM on the last business day of each quarter**. Submit application to:

**Williston Community Redevelopment Agency  
Attention: Façade Improvement Incentive Program  
Post Office 160  
Williston, FL 32696**

**Should any grant funds remain unclaimed after the Fiscal year, additional applications will be reviewed on a quarterly basis with extended deadlines being the last business day of October 1st until such time all allocated funds have been distributed.**

### **V. Grant Guidelines**

1. The building facades eligible for the program must be within the Downtown Redevelopment District.
2. The grant funds may not exceed 50% of the façade improvement project.
3. Buildings must meet Health and Safety Standards of the code.
4. Applications for Façade Grants must be made and approved in advance of work and a plan must be accepted by CRA prior to funding, provided all provisions of the matching grant program are met.

5. All improvements conducted with the use of matching grant funds must be performed in a manner consistent with the City Land Development Code, the Florida Building Code and all applicable regulations, codes and ordinances.
6. Grant recipients and building owners must agree that improvements made using these funds will stay in place a minimum of five years. If the improvements are replaced within five years of façade project completion, the grant recipient must repay a pro rata portion of the grant proceeds invested in the project for the number of months remaining. By acceptance of the Grant, Grant Recipient and, if applicable, building owners, agree to restore and maintain (keep in good working condition and appearance) the improvements during the five year period, and upon failing to do so shall be obligated to repay a pro rata portion of the grant as described above. The same requirement shall be in effect if the building or business lease is transferred within five years of façade project completion. Exceptions:
  - i. The improvement has been damaged beyond repair (i.e. broken awning) and the grant recipient has replaced the improvement.
  - ii. The improvement was replaced for the purpose of further renovation that will enhance the project, as determined in the sole discretion of the CRA.
7. Applicant is responsible for obtaining or having obtained all required building permits for the work undertaken and must have a current business license.
8. Projects must be completed within **6 months** of the grant award. The CRA shall disburse funds to the grant recipient or contractor with grant recipient's approval only upon demonstration that the work has been completed. Grant recipients must submit copies of paid invoices to validate that the dollar-for-dollar (1:1) match requirements have been met under terms of the grant (i.e., a \$5,000 grant award requires submission of at least \$10,000 in invoices) specific to the designated façade(s) in the grant application.
9. Grant extensions shall be granted by the CRA on a very limited, case-by-case basis where the contractor is having difficulty meeting the deadline due to weather delay, scheduling conflicts or supply issues.
10. The CRA shall have no liability for workmanship, design, or construction related to the project receiving grant funds under this program.
11. Once a maximum grant for any storefront has been awarded, the business occupying the storefront or building owner cannot reapply for another grant for the same location for a 3-year period.
12. New grant applicants will have priority over projects applying for funding for phased work.
13. Grant Recipient agrees to allow the CRA to photograph the project for use in future publications.

## **VI. Eligible Expenses**

1. Awnings/Canopies – including the removal of the old and the design, production, and installation of new awnings and canopies.
2. Facades – Includes work performed on the exterior storefront of a building such as cleaning masonry (high pressure water or steam – sandblasting is prohibited on masonry structures), painting, re-pointing or mortar joints, woodwork, window and/or door replacement, other repairs or rebuilding historic storefronts. Does not include roof work like re-roofing.

3. Walls, Fencing and Landscaping – Includes work that removes and replaces or adds appropriate fencing and landscaping to hide incompatible uses or negative site elements such as storage yards, outdoor fabrication, work area, or dumpsters.
4. Removing and disposing of old façade coverings (i.e. vinyl and aluminum cladding, window boards)
5. Architectural fees (not to exceed 10% of grant amount).
6. Removing old wood, aluminum, or stucco cladding – includes materials and services to remove the cladding.

## **VII. Grant Application Process**

The Grant application process is as follows:

1. Applicant submits grant application and all necessary documentation to the CRA by **4:00 P.M. on the last business day of each quarter. \* See application deadline, Section IV any possible façade grant extensions.**
1. The CRA reviews, approves, disapproves or approves with conditions for final approval.
2. The CRA will notify applicant of approval or denial in writing.
3. Grant recipient requests funds after completing the proposed façade improvements.
4. CRA staff inspects the project and applicant's paid invoices to verify completion of work as proposed in the application.
5. CRA disburses funds to grant recipient within 45 days of approval of the completed project.

Applications containing the following items shall be deemed complete:

1. Completed application form.
2. Photograph of the existing building conditions.
3. Sketches and/or digital illustrations of elevations of proposed improvements.
4. Description of materials to be used, the construction procedure and proposed colors.
5. Two cost estimates from different sources.
6. Evidence of agreement with Program requirements by building owner, for business owner's applicants.
7. Affidavit of understanding.

## **VIII. Funding**

Matching grants of up to \$5,000 (per building face which fronts a street, up to two building faces) are offered subject to an annual allocation of tax increment funds for the CRA. Business or building owners are required to provide a dollar for dollar match to the funds provided by CRA.

## **IX. Completion Reports**

1. Grant recipients are required to submit a Façade Improvement completion report to the CRA which includes:
  - A letter from the grant recipient indicating that the project is finished and asking for reimbursement grant funds to be paid.
  - Before and after photos of the façade project.

- A reasonably detailed breakout of expenses (separate costs for siding, awnings, paint, resurfacing, fencing, etc) for the project.
  - Photocopies of receipts or invoices that validate the dollar-for-dollar (1:1) match of the grant award; for example, the recipient must back up a \$5,000 grant award with a minimum of \$10,000 in paid receipts specific to the designated façade(s) in the original grant application.
2. After completion reports are reviewed and approved by the CRA, the CRA will request a check from the City Clerk, which will be mailed to the grant recipient(s). **No more than 45 days** shall pass between the time recipients submit completion reports and the time grant monies are awarded.

## **X. Nondiscrimination**

The City of Williston does not discriminate on the basis of race, color, gender, age, religion, national origin, marital status, sexual orientation, or disability (protected characteristics) and will not tolerate any discrimination by or against its employees or citizens utilizing City services, programs, and activities.

**WILLISTON CRA FAÇADE IMPROVEMENTS  
APPLICATION**

*Community Redevelopment Agency  
PO Drawer 160  
Williston, FL 32696  
Phone (352) 528-3060, Fax (352) 528-0390*

**\*\*INSTRUCTIONS\*\***

PLEASE READ ALL SECTIONS – INCOMPLETE APPLICATIONS WILL NOT BE EVALUATED ONLY  
ORIGINAL APPLICATIONS WILL BE ACCEPTED PLEASE TYPE OR PRINT LEGIBLY  
**\*\*APPLICATIONS DUE BY THE END OF THE QUARTER\*\***  
PLEASE SEE FAÇADE GRANT GUIDELINES FOR QUARTERLY EXTENSION POSSIBILITIES

**SECTION 1 APPLICANT INFORMATION**

Your Name: \_\_\_\_\_ Name of Business: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Street City State Zip Code  
Telephone: (\_\_\_\_) \_\_\_\_\_ E-Mail: \_\_\_\_\_

If you are not the Building Owner, please complete Section 2 below.

**SECTION 2 BUILDING OWNER INFORMATION (TO BE COMPLETED BY TENANT)**

Owner Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Street City State Zip Code  
Telephone: (\_\_\_\_) \_\_\_\_\_ E-Mail: \_\_\_\_\_

**SECTION 3 BUILDING INFORMATION**

1. Building Address: \_\_\_\_\_  
Number Street
2. Building improvements proposed in this application. Check all that apply. (Each improvement is valued at 1 point)
- |                                                              |                                                    |
|--------------------------------------------------------------|----------------------------------------------------|
| <input type="checkbox"/> Paint                               | <input type="checkbox"/> Power washing             |
| <input type="checkbox"/> Repair masonry                      | <input type="checkbox"/> Replace windows and doors |
| <input type="checkbox"/> Remove old wiring                   | <input type="checkbox"/> Awning                    |
| <input type="checkbox"/> Exterior Lighting                   | <input type="checkbox"/> Repair wood work          |
| <input type="checkbox"/> Remove old cladding (stucco, metal) | <input type="checkbox"/> Other _____               |



#### **SECTION 4 SELECTION CRITERIA**

*Please check all that apply:*

1. *Is the project expected to transform the building from worst case to best case? (5 points)* \_\_\_\_
2. *Is the project located along Noble and Main Street? (3 points)* \_\_\_\_
3. *Does the project advance an appropriate style for this building? (3 points)* \_\_\_\_
4. *Does the project preserve or restore original decorative building elements? (5 Points)* \_\_\_\_
5. *Is the project needed to attract or retain one of the following tenants: restaurant/café, retail, office, etc.? (5 points)* \_\_\_\_
6. *Does the project correct code deficiencies related to the façade? (3 points)* \_\_\_\_

*Please explain*

- 
7. *Does the project include removing non-original masonry or wood cladding? (3 points)* \_\_\_\_
  8. *Is the project part of a complete restoration that returns a vacant storefront of upper story space to productive use? (3 points)* \_\_\_\_
  9. *Additional points are given for individual improvements, i.e., 1 point each for painting, awning, windows, doors, etc.* \_\_\_\_
  10. *Number of public/main entrance facades for grant consideration? \_\_\_\_\_ (No point value)*
  11. *Is applicant including a second elevation (visible side of building that is not a main entrance) in grant application for CRA consideration? Yes \_\_\_\_\_ No \_\_\_\_\_ Indicate Side: \_\_\_\_\_*

#### **SECTION 5 CONTRACTOR'S COST ESTIMATES**

You must attach at least two (2) cost estimates from different contractors for all categories of work. All estimates must include identical scopes of service. If applicable to the selected primary contractor, attach copies of contractor's general liability insurance certificate and appropriate license. Attach additional contractor's estimates as needed.

**\*\*Please check the contractor selected for this project.**

\_\_\_\_ Name of Contractor #1: \_\_\_\_\_ Cost Estimate: \$ \_\_\_\_\_

\_\_\_\_ Name of Contractor #2 \_\_\_\_\_ Cost Estimate: \$ \_\_\_\_\_

\_\_\_\_ Name of Contractor #3: \_\_\_\_\_ Cost Estimate: \$ \_\_\_\_\_

#### **SECTION 6 SIGNATURES**

Your application must include all of the following:

1. Proof of building ownership or letter of consent from the owner. Copies of deeds and county tax records will be accepted as proof.
2. Photograph of the existing building showing exterior conditions.
3. Sketches and/or elevations of proposed improvements, including colors.
4. Description of materials to be used.
5. Two cost estimates from two different sources. Scopes of service from each contractor must be identical.
6. Selected contractor's general liability insurance certificate and contractor's license.

**AS BUILDING OWNER,** I certify that I have reviewed the Application, understand that this grant will pay a portion of building improvements to be completed and I approve of the proposed improvements. I also accept responsibility (both jointly and severally) for the construction and maintenance pursuant to the grant program, a copy of which is attached hereto and incorporated herein, and for compliance with the Land Development Code of the City of Williston.

\_\_\_\_\_  
Signature of Building Owner

\_\_\_\_\_  
Date

**AS APPLICANT,** I understand that this grant does not constitute a permit and permits must be obtained in order for the work to be allowed. I also understand that the CRA is responsible only for the grant amount and no more. I also accept responsibility (both jointly and severally) for the construction and maintenance of any improvements pursuant to the grant program and for compliance with the Land Development Code of the City of Williston.

\_\_\_\_\_  
Signature of Building Owner / Lessor

\_\_\_\_\_  
Date

The City of Williston does not discriminate on the basis of race, color, gender, age, religion, national origin, marital status, sexual orientation, or disability (protected characteristics) and will not tolerate any such discrimination by or against its employees or citizens utilizing City services, programs, and activities.

**FOR CRA USE ONLY: DO NOT WRITE IN THIS SECTION**

Date & Time Application Received: \_\_\_\_\_ CRA Review Date: \_\_\_\_\_

Received by (print name): \_\_\_\_\_

- |                                        |       |     |     |    |
|----------------------------------------|-------|-----|-----|----|
| • Proof of ownership attached?         | ___   | Yes | ___ | No |
| • Photographs attached?                | ___   | Yes | ___ | No |
| • Description of materials attached?   | ___   | Yes | ___ | No |
| • Sketches and/or elevations attached? | ___   | Yes | ___ | No |
| • Copy of business license attached    | ___   | Yes | ___ | No |
| • Contractor estimates attached        | ___   | Yes | ___ | No |
| • Contractor insurance attached        | ___   | Yes | ___ | No |
| • Final approval by CRA Agency         | ___   | Yes | ___ | No |
| • If no, state reason for denial:      | _____ |     |     |    |

• \_\_\_\_\_

• Date: \_\_\_\_\_

**END OF APPLICATION**



**ALACHUA CRA**  
COMMUNITY REDEVELOPMENT AGENCY

# Business Façade Grant Program

## Policies & Procedures

Application Packet  
2019

P.O. Box 9  
15100 NW 142<sup>nd</sup> Terrace  
Alachua, FL 32616-0009

Chelsea Bakaitis, CRA Coordinator  
Office: (386)-418-6134  
FAX: (386) 518-5692  
Email: [ch\\_bakaitis@cityofalachua.com](mailto:ch_bakaitis@cityofalachua.com)

[www.cityofalachua.com](http://www.cityofalachua.com)

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### **Appendix A: Application for Façade Grant**

### **Appendix B: Funding Priority Rating Sheet**

### **Appendix C: Florida Public Record Law Requirements**

### **Appendix D: Map of the Community Redevelopment Area**

### **Appendix E: Property Owner Authorization Form**

## **PURPOSE & GENERAL PROGRAM INFORMATION**

The purpose of the City of Alachua Community Redevelopment Agency (CRA) Business Façade Grant Program (Program) is to provide assistance to rehabilitate the facades of commercial buildings within the Community Redevelopment Area.

Grant funds are awarded to projects that best facilitate and foster the goals and objectives of the CRA Amended Community Redevelopment Plan and the CRA Market Study and Economic Development Implementation Plan. A copy of these plans may be found on the CRA's website.

The CRA and CRA Advisory Board (CRAAB) use the *Business Façade Grant Program Funding Priority Rating Sheet* to determine funding recommendations and award decisions. A copy of this Rating Sheet is attached as Appendix B to these Policies & Procedures.

The Policies and Procedures are meant to provide applicants with important information about the Business Façade Grant Program requirements. Applicants should use this document as a guide when applying for a grant in order to make sure that all requirements are met.

## **AVAILABLE GRANT FUNDING AND MATCHING REQUIREMENTS**

The Program provides a 50% matching grant between \$500 and \$5,000 for façade improvement project costs. Grant recipients must provide a cash or loan match of 50% of total project cost. Funding is appropriated annually by the CRA, and is available on a first-come, first-served basis. Applicants must finish the project and pay all project costs before being eligible for reimbursement.

Applicants are reminded that grant awards are discretionary and there is no entitlement for anyone to receive a grant. The grant criteria are guidelines, not guarantees, for grant awards. If an Applicant meets all grant criteria, a grant may or may not be awarded at the CRA's sole discretion based upon funding limitations, competing applications and/or competing priorities.

All grant applications will be reviewed and grants awarded without regard to race, color, religion, sex, sexual orientation, gender identity, national origin, disability, veteran status, or any other characteristic protected by law.

## **APPLICANT & PROPERTY ELIGIBILITY**

The Business Façade Grant Program is available for commercial properties located within the Redevelopment Area. For a map of the Community Redevelopment Area, please see Appendix D.

Eligible buildings must have a façade that is visible from a street or parking lot. Buildings located on a corner lot containing a single business may be considered to have two or more facades. If a building is divided into more than one business unit, each business unit may be considered a

separate façade if each unit has a separate primary entrance and each occupant has an individual Local Business Tax Receipt. If a building is a multi-use building (e.g. residential and commercial), only the commercial portion of the building is eligible under the Program. Buildings used exclusively for residential purposes are not eligible for the Program. If Applicant is not the owner of the property to be improved, they must receive authorization from the property owner.

### Property Requirements

- ☐ Located within City of Alachua Community Redevelopment Area (see Appendix D).
- ☐ Privately owned commercial buildings.
- ☐ Building must be structurally sound.
- ☐ No past due utility bills (including but not limited to water, wastewater, electric, and garbage).
- ☐ No past due property tax bills.
- ☐ No City liens, or open permits.
- ☐ Must be occupied at the time funding is requested or, if unoccupied at the time of application, have a bona fide lease or rental agreement (must be occupied by completion of the project). Under no circumstances will funds be expended on a building that will not be immediately occupied after rehabilitation.

### Occupant Requirements

- ☐ Must have all applicable licensing.
- ☐ Must have valid Local Business Tax Receipt at the time of grant application and at project completion.
- ☐ Use must be permitted by the City's LDRs (see Table 4.1-1) or have obtained a Special Exception Permit.
- ☐ Must be legally constituted business.
- ☐ Must be a commercial business.

## **PROJECT REQUIREMENTS**

Grant funds may only be used for projects that substantially improve the aesthetics of the exterior façade of a commercial building and that facilitate redevelopment consistent with the CRA Community Redevelopment Plan. Projects must also be consistent with all Federal, State, and local laws and regulations, including without limitation, the City's Comprehensive Plan, Code of Ordinances, and Land Development Regulations.

The total project costs may only include labor and materials. Labor is only eligible for reimbursement if performed by a contractor or entity other than the applicant. No building owner, lessor, lessee, tenant, occupant, employee, or immediate relative of the applicant, either personally or corporately, shall be paid to serve as a contractor or subcontractor for the work to be performed.

All contractors must have a General or Building contractor's license (Class A or B) as required by Chapter 489, Part I, Florida Statutes, or appropriate licensure as required for the type of work to be performed.

Permit fees and project design fees (i.e., architectural or engineering services) are not reimbursable expenses. Additionally, any work performed before the grant is approved will not be eligible for reimbursement by the Program.

All Applicants must disclose any personal or business relationship with members of the City Commission or City employees at the time of application. Applicants must be approved by the CRA if they have an apparent conflict of interest and are otherwise eligible to receive assistance through this Program.

Code violations may be corrected under this Program, but no funds will be reimbursed until all code violations are addressed and the property is found to be in compliance with applicable codes.

Improvements must be compatible and complementary to buildings located on the same block on both sides of the street. Strikingly different design treatments, including color, from one storefront to the next shall be avoided.

#### Examples of Eligible Projects

- Refurbishing of exterior walls, including repainting, repairs, re-siding or similar cosmetic or structural improvements.
- Removal of false facades.
- Facade cleaning other than general maintenance.
- Stucco restoration or other exterior nonstructural masonry repair.
- Painting (colors must be compatible or complementary to surrounding buildings).
- Replacement of damaged windows or doors.
- Installment or improvements to permanent awnings, canopies, or other coverings over windows or walkways.
- Adding or increasing windows of storefront.
- Electrical repairs or additions (directly related to exterior or display window), lights, or awnings.
- Decorative additions such as sconces and other architectural features.
- Code violation corrections which also enhance the aesthetics of the façade.

#### Examples of Ineligible Projects

- Improvements made prior to grant award.
- Roof repair or replacement.

- Interior renovations.
- Non-fixed improvements such as removable awnings with no fixed improvements to the building, removable equipment, etc.
- General maintenance.
- Payment for sweat equity.
- Non-aesthetic improvements.

## **APPLICATION STEPS**

Before a property or business owner applies for Program funding, they must meet with CRA and City Staff to review the Grant Policies and Procedures and any permitting requirements. After this meeting, an applicant may begin the application process.

Applications will be accepted on the **first day of each month**. If this date falls on a non-City business day, the deadline shall be the next City business day. The application will be reviewed by Staff within 10 business days of the application submission. If an application is incomplete, it will be returned and the applicant will be allowed 10 business days from the notice that the application is incomplete to resubmit. The *Application for Façade Grant* is located in Appendix A.

Designs must be of a professional quality and must clearly depict the proposed improvements. When required for the type of construction proposed, plans must be signed and sealed by a registered architect or professional engineer (as applicable). All designs must be in compliance with the applicable laws and regulations, including the City's LDRs and the Florida Building Code.

### **Required Materials to Submit with Application**

- ☐ Current photos of building and issues that will be resolved under the Program.
- ☐ Signed and sealed plans (if required by City Building Department for the type of work proposed).
- ☐ Sketches, drawings, plans or architectural renderings which clearly depict the proposed improvements.
- ☐ Information regarding project components such as color swatches, pictures of added features, etc.
- ☐ Proof property taxes are current.
- ☐ A copy of Local Business Tax Receipt.
- ☐ Proof property is current in utility bills.
- ☐ Copy of a lease or rental agreement that indicates building will be occupied after rehabilitation (if applicable).
- ☐ Two written contractor estimates if purchase or labor is \$1,000 or greater (staff will review for reasonableness of cost).

Applications will be reviewed during a CRA Advisory Board (CRAAB) meeting. This Board will make a recommendation to the CRA, who will make the grant awards in its sole discretion. For a schedule of these meetings please visit the CRA's webpage at [www.cityofalachua.com](http://www.cityofalachua.com).



The award of a grant must meet all public record requirements (including the right to audit) and other public purpose actions and findings necessary to establish the foregoing. For details about Florida Public Records law requirements (F.S. 119) please see Appendix C.

**Figure 1: Application Steps**



## **PROJECT STEPS & DEADLINES**

Once a grant is awarded by the CRA in a public meeting, the project must begin within 80 days and be completed within 120 days of grant approval. Upon a showing of good cause, the applicant may request a 30 day extension. No more than three extensions shall be granted. Extension requests shall be reviewed and approved by the CRA Executive Director. Minor changes to the awarded Project must also be approved by the CRA Executive Director and substantial changes must be approved by the CRA.

Applicants must finish the project and pay all project costs before being eligible for reimbursement. Funds will be reimbursed at the completion of the project and upon verification that all grant criteria has been met. In no event will the reimbursement amount exceed the amount originally awarded.

Prior to beginning any work, the applicant must obtain all necessary permits, which may include, but is not limited to, a Certificate of Appropriateness and/or a building permit(s). Contractor estimates and quotes must also be reviewed by CRA staff for reasonableness of cost and be approved for such purposes before the applicant enters into a contract with the contractor and before work is performed. The CRA reserves the right to verify any and all costs associated with the construction for improvements funded by the Program.

Figure #2 contains step-by-step information about the project process.

### What to Submit for Reimbursement

- ☐ Request for Reimbursement Form.
- ☐ Documentation of all project costs:
  - Cancelled checks.
  - Detailed invoices.
  - Paid receipts.
  - Signed statement attesting to construction costs incurred.
- ☐ Contractor's license number (if applicable).
- ☐ Proof of payment for project improvements (paid invoices, receipts, etc.).
- ☐ Before and after photos of project improvements.
- ☐ Copy of Certificate of Occupancy or Completion (if applicable).
- ☐ Copy of Certificate of Appropriateness (if applicable).

**Figure 2: Grant & Project Steps**

### **CORRECTION OF PROGRAM VIOLATIONS**

If the provisions of this Program are violated, the applicant will be notified of any noted violations, and will be given 60 days to correct the violations. If the violations are not corrected within this time frame, the building will not be eligible for any further benefits under this Program.

### **REQUIREMENTS FOLLOWING COMPLETION**

After the project has been completed and grant reimbursements have been made, the applicant has an obligation to keep the property maintained and not make any substantial changes to the project improvements without approval by the CRA for two years after the completion of the project. Failure to do so may exclude the grant recipient from future grants.

In order to allow funding for as many applicants as possible, the project building is not eligible for the Business Façade Grant for three years after receiving assistance.

By accepting assistance, the building owner and/or tenant agree that the CRA may use images of the property before and after renovation.

**Date: April 10, 2023**

**CRA AGENDA ITEM**

---

**TOPIC: Annual Report**

**BACKGROUND / DESCRIPTION:**

**CRA Annual Report for 2021-2022**

**LEGAL REVIEW: NA**

**FISCAL IMPACTS: NA**

**RECOMMENDED ACTION: NA**

**ATTACHMENTS: Annual Report 2021-2022**

**CRA BOARD ACTION:**

**\_\_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED**

**Date: April 10, 2023**

---

**CRA AGENDA ITEM**

---

**TOPIC: Oelrich COP #020- Revised**

**BACKGROUND / DESCRIPTION:**

**COP# 20- Parcel O North Wall Lighting**

This COP is a request to provide adequate lighting for the signage on the north side of the Parcel O wall. Please see below for the two options being presented, and the detailed breakdowns.

Option 1 entails replacing the three (3) current fixtures with an up-down fixture that illuminates both the signage and the sidewalk. Removed fixtures will be provided to the user group as attic stock. **\$994.00**

Option 2 entails keeping the existing fixtures and mounting additional fixtures above each sign, running conduit up and over the wall from the electrical junction boxes on the south side. Additional options here are for mounting either one (1) light per sign (for a total of two new fixtures), or two (2) lights per sign (for a total of four new fixtures). **Fixture Options are shown as a,b,or c \$4,610.00**

**LEGAL REVIEW: NA**

**FISCAL IMPACTS:** Not to exceed \$4,610.00 (from Contingency)

**RECOMMENDED ACTION:**

Select option 1 or 2 for lighting.

Option 1 \$994.00

Option 2 \$4,610.00 Option A, B, or C

**ATTACHMENTS:**

COP #020 revised

**CRA BOARD ACTION:**

\_\_\_\_\_ **APPROVED** \_\_\_\_\_ **DISAPPROVED**



April 4, 2023

Laura Jones  
City of Williston  
50 NW Main Street  
Williston, FL 32696  
(352) 528-3060

**Re: 22.01.026 Williston Arcade and Main Street Enhancements  
COP #020 – Parcel O North Wall Lighting**

Ms. Jones,

Included herein, please find revised Change Order Proposal #020. This COP is based upon the user group's request to provide adequate lighting for the signage on the north side of the Parcel O wall. Please see below for the two options being presented, and the detailed breakdowns.

Option 1 entails replacing the three (3) current fixtures with an up-down fixture that illuminates both the signage and the sidewalk. Removed fixtures will be provided to the user group as attic stock.

Option 2 entails keeping the existing fixtures and mounting additional fixtures above each sign, running conduit up and over the wall from the electrical junction boxes on the south side. Additional options here are for mounting either one (1) light per sign (for a total of two new fixtures), or two (2) lights per sign (for a total of four new fixtures). Fixture options are shown as a, b, or c.

**Option 1: Replace Current Fixtures with Up-Down Fixtures**

Subcontractor	Cost	Schedule Impact
Chris Torrence Electric & Utility	\$ 840.00	
Contingency Balance	\$ (2,129.96)	
General Conditions	\$ 2,024.96	1 day
General Liability Insurance	\$ 29.00	
P&P Bond	\$ 0.00	
CM Fee	\$ 230.00	
<b>The total cost and schedule impact of this COP is:</b>		<b>\$ 994.00 1 day</b>

275 NW 137th Drive  
Suite A  
Jonesville, Florida 32669

[oelrichconstruction.com](http://oelrichconstruction.com)

352-745-7877

CGC1510579



**Option 2: Mount New Fixtures Above Signs**

Subcontractor	Cost	Schedule Impact
Chris Torrence Electric & Utility (4-light option)	\$ 3,400.00	
Contingency Balance	\$ (2,129.96)	
General Conditions	\$ 2,781.96	3 days
General Liability Insurance	\$ 62.00	
P&P Bond	\$ 0.00	
CM Fee	\$ 496.00	

**The total cost and schedule impact of this COP is: \$ 4,610.00 3 days**

Thank you for your attention to this proposal. If you require any further information, please feel free to contact me.

Sincerely,  
**Oelrich Construction, Inc.**

Lourdes Ptschelinzew  
Assistant Project Manager

Option:	Fixture:
Approved By:	
Signature:	
Date:	

275 NW 137th Drive  
Suite A  
Jonesville, Florida 32669

[oelrichconstruction.com](http://oelrichconstruction.com)

352-745-7877

CGC1510579



## Lourdes Ptschelinzew

---

**From:** Amanda Rutherford <arutherford@walker-arch.com>  
**Sent:** Wednesday, March 1, 2023 4:03 PM  
**To:** Lourdes Ptschelinzew  
**Cc:** Javell Woods; Tyler Springer; Marcus Tucker; Damian Riley; sculpepper@walker-arch.com  
**Subject:** Re: Williston Arcade & Main Street Enhancements - Completion Update & Added Lighting Status  
**Attachments:** WD2340\_3017.pdf; 02-10-2023\_WILLISTON STREET\_CALCS\_OPTION 1.pdf; 02-23-2023\_WILLISTON STREET\_CALCS\_OPTION 2A.pdf; 02-23-2023\_WILLISTON STREET\_CALCS\_OPTION 2B.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Thank you Lourdes.

We have a fixture selection for two options -

1. Option 1 - Replace two (see cutsheet attached) of the three current fixtures with an up-down fixture that illuminates the signage better, and still provides some light for pedestrians below. Removed fixtures to be provided to owner as attic stock.
2. Option 2 - Keep existing fixtures as-is. Add [two \(2\) fixtures](#), mounting above each sign. This would entail running conduit up and over the wall from the boxes on the south side. There are a couple different layouts that are available to us. See pdf showing a layout with one fixture above each sign or two fixtures at each sign.

Best Regards,

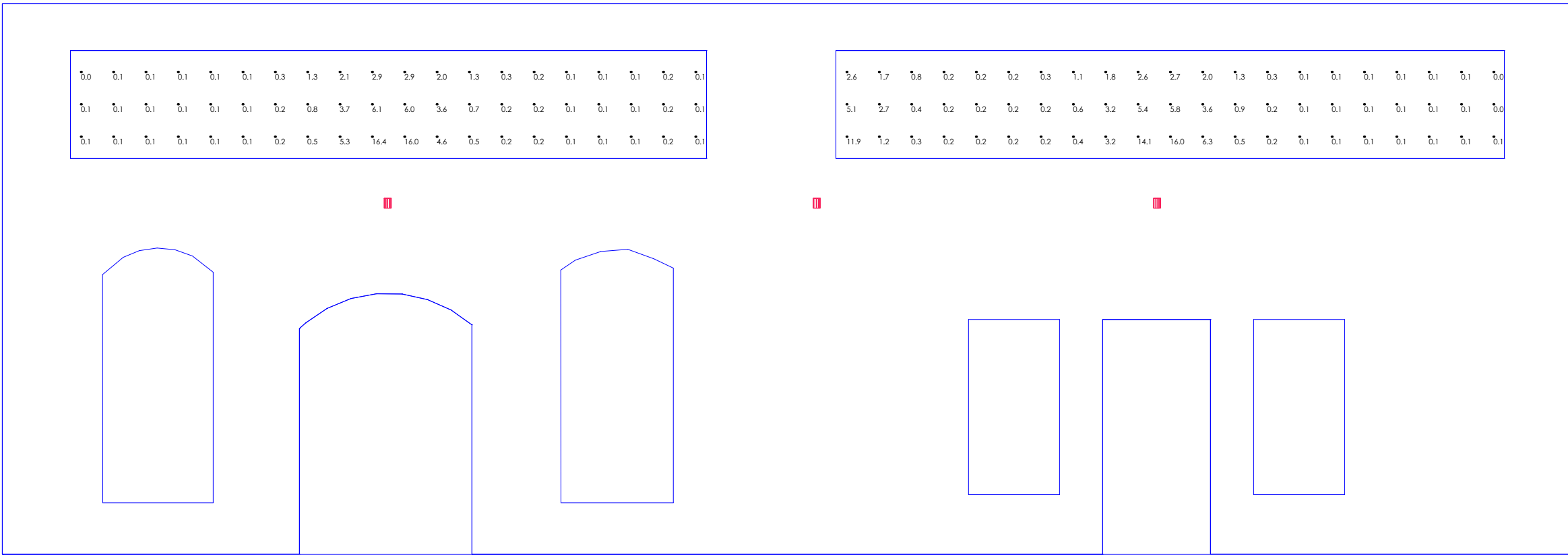
**Amanda Rutherford**  
Architectural Designer



352.451.1832 direct  
[Website](#)

On Thu, Feb 23, 2023 at 11:45 AM Lourdes Ptschelinzew <[lourdes@oelrichconstruction.com](mailto:lourdes@oelrichconstruction.com)> wrote:

Amanda,



FACADE PHOTOMETRY  
Scale: 1 inch= 4 Ft.



Disclaimer:  
SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures.

This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.)

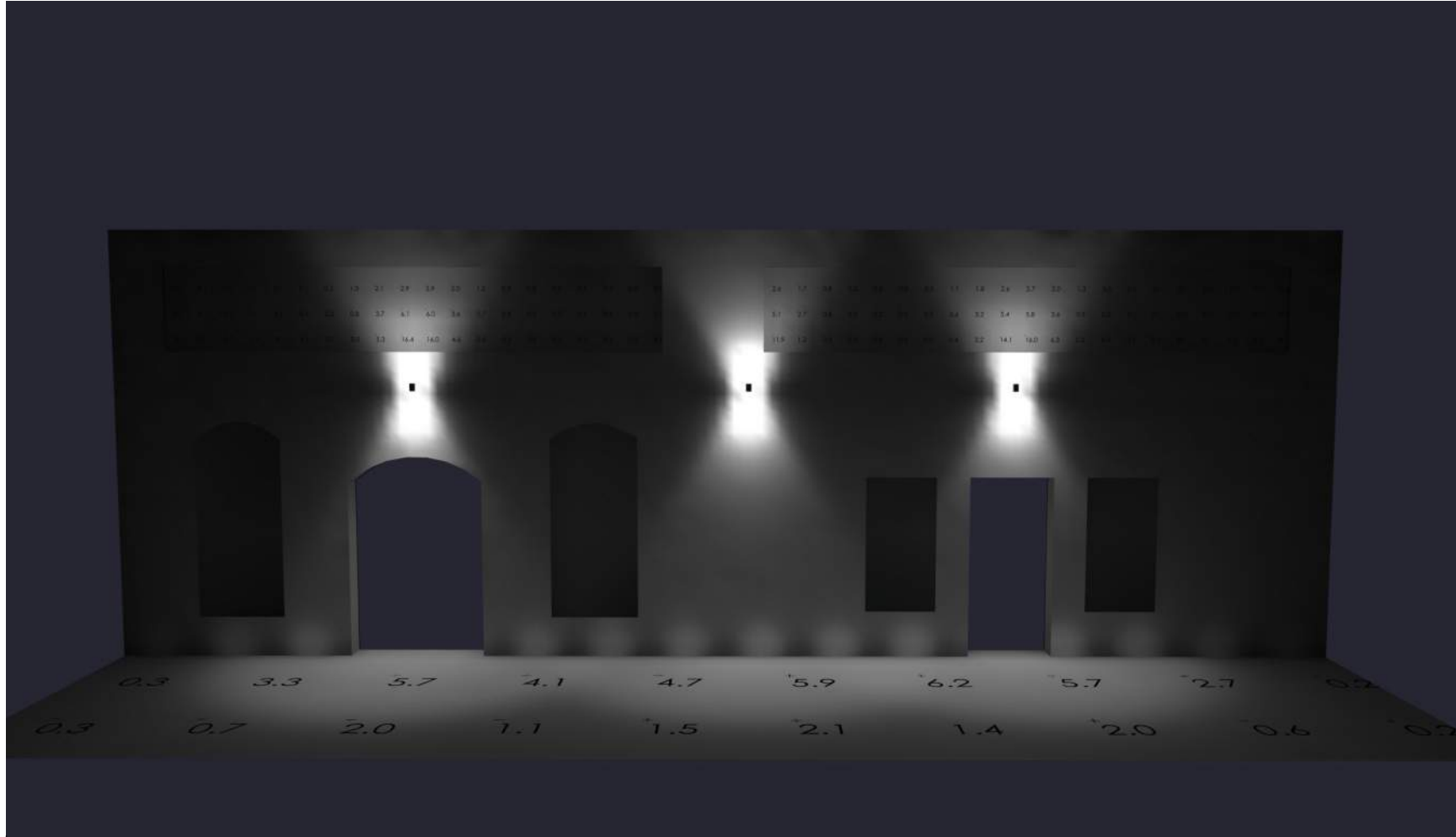
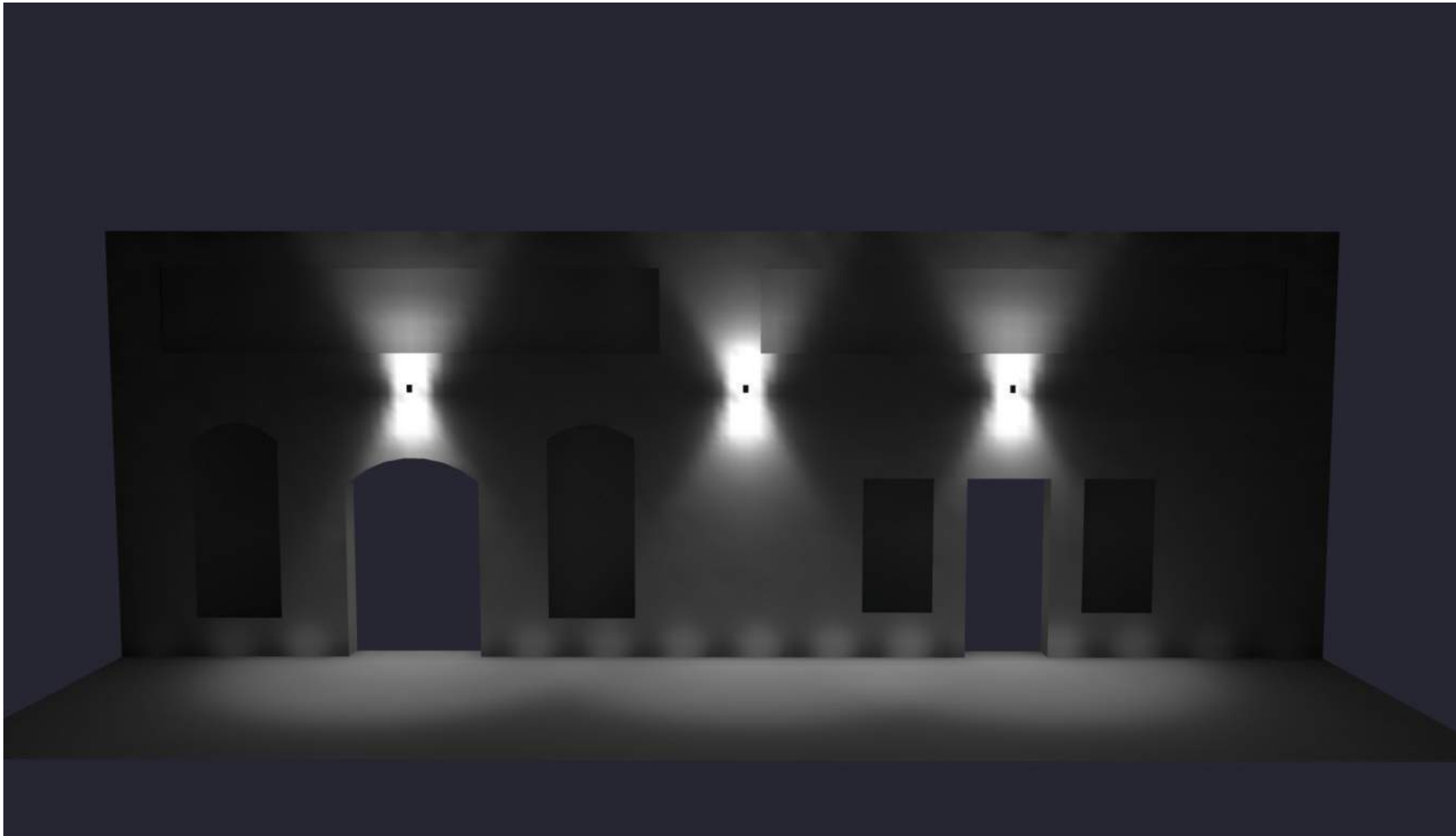
In general, SESCO Lighting considers numerical studies to be predictive in that they are based on a series of assumptions and are not a guarantee of performance or quality. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer, and, above all, common sense.

Sales Rep: JIMMY NIX  
Office: JACKSONVILLE  
Specifier:  
Photometrics: S.OAKLEY

WILLISTON STREET

Date:2/10/2023

Page 1 of 1

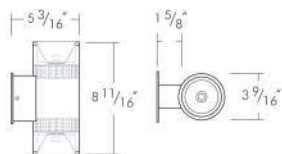


Luminaire Schedule										
SYMBOL	QTY	LABEL	Mounting Height	ARRANGEMENT	LLF	DESCRIPTION	Luminaire Lumens	Luminaire Watts	Filename	[MANUFAC]
	3	A	11	Single	0.900	WD2340BUE-DUN	1704	27.73	WD2340BUE--DUN.ies	Liton Lighting Inc

Calculation Summary									
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	POINT SPACING	CALC PLANE HEIGHT
GRADE_Planar	Illuminance	Fc	2.54	6.2	0.2	12.70	31.00	5	0
SIGNAGE_1_Top	Illuminance	Fc	1.64	16.0	0.0	N.A.	N.A.	1	12.24 to 15.574
SIGNAGE_Top	Illuminance	Fc	1.37	16.4	0.0	N.A.	N.A.	1	12.24 to 15.574

NOTES:  
- MOUNTING HEIGHT IS A.F.F. OR A.F.G. UNLESS NOTED OTHERWISE  
- CALCULATIONS ARE MAINTAINED HORIZONTAL AND/OR VERTICAL FOOTCANDLES  
- STANDARD REFLECTANCES (0.2 FLOOR, 0.5 WALL, 0.8 CEILING), U.N.O.

## WD2340 - 4" ROUND 2-DIRECTION WALL MOUNT (IP65) - 2 X 1000LM SURFACE 2-DIRECTION WALL MOUNT



Available August 2016

### SPECIFICATION

2X15W

**Application:** This WD2 Series Double directional wall luminaire can be used in both interior and outdoor settings. Typical locations are in commercial and retail spaces that contain walls and/or columns that require directional lighting. Dual reflector design allows for direct and indirect lighting for a single fixture.

Energy efficient Chip-On-Board (COB) Singular LED Light Source provides for smooth uniform light output, eliminating the multiple shadow effect seen by multiple LED Source products. Binned with 4-step MacAdam ellipses as recommended by ANSI Standard.

**Housing:** Constructed from a square one piece high grade aluminum extrusion with a rectangular extrusion arm, two (2) faceplates and a mounting plate with a powder coat finish. Includes COB LED, reflector and LED driver. Mounting plate is secured to arm with four (4) flat head phillips stainless steel screws. Mounting plate installs onto an electrical junction box. Consult factory for junction box mounting sizes.

**Mounting:** Fixture includes a mounting bracket for installation directly to a 3-1/2" octagonal electrical junction-box.

**Faceplate:** Square one piece die cast aluminum with powder coat finish, clear tempered glass lens, and silicone gasket. Faceplate is secured to the housing by four (4) tamper resistant, stainless steel screws.

**Reflector Construction:** One piece, heavy-gauge aluminum reflector prevents ugly dents during shipping and installation. Deeply mounted singular LED provides 50 degree visual cutoff for a glare-free appearance.

**Lumen Maintenance:** Minimum 50,000 hours L70 life based on ANSI TM-21 calculations from LM80 standardized test results. See ordering guide for delivered lumens.

**Dimming:** (-DUN) option is a universal dimming system that works with most 3-Wire ELV, 2-Wire Incandescent and 5-Wire 0-10V fluorescent dimmers.

**Electrical:** AC 50/60Hz Electronic Direct Current Class 2 driver integrally mounted. Power Factor > 0.90. For cold weather applications (-22°C and above) use -DUN driver option.

**Emergency Options:** Emergency LED Battery Back-up available, remotely mounted adjacent to housing by installer. When AC power fails, the device immediately switches to the emergency mode, operating the LEDs for a minimum of 90 minutes. Remote test switch, plate cover and junction box included.

**Caution:** LITON recommends use of surge protectors on the power entering LED Housings. Surge damage is not covered by warranty.

**Warranty:** Covered by a 5 Year Warranty to be free of defects in materials and craftsmanship. Fixture should not be installed in applications with ambient temperature above 60 degrees C. Doing so will result in reduced lamp life and voided warranty.

**Listing:** ETL / cETL Listed. Suitable for wet location. Assembled in USA. (IP65).

**Finish:** A 7-stage electrostatic, polymer process provides a finish that delivers outstanding durability, superior anti-aging, resistance to corrosion and UV-degradation Available in Black, White, Silver\* and Bronze\*.

**Beam (Down):** Available in Wide Flood, Narrow Spot, Spot and Flood.

**Beam (Up):** Available in Wide Flood, 2° Pencil Beam, Narrow Spot, Spot and Flood.

#### Benefit:

- Uniform, low glare illumination
- Durable, corrosion resistant finish
- Emergency back up available
- Singular COB Light Source
- 5 year limited warranty

### FEATURE:



ORDERING EXAMPLE : WD2340B-BU02-T17

WD2340	FINISH	BEAM (DOWN)	BEAM (UP)	DIMMING	LED
<b>WD2340</b>	<b>B</b> :Black	<b>Blank</b> :Wide Flood	<b>Blank</b> :Wide Flood	<b>Blank</b> :Non-Dimming (120V)	<b>Blank</b> :4000K
	<b>W</b> :White	<b>-BD10</b> :Narrow Spot	<b>-BU02</b> :2° Pencil Beam	<b>UE-DUN</b> :UniDim™ (120V/277V)	<b>-T17</b> :1700K**
	<b>S</b> :Silver*	<b>-BD20</b> :Spot	<b>-BU10</b> :Narrow Spot		<b>-T25</b> :2500K**
	<b>BZ</b> :Bronze	<b>-BD45</b> :Flood	<b>-BU20</b> :Spot		<b>-T27</b> :2700K*
			<b>-BU45</b> :Flood		<b>-T27-C97</b> :2700K, 97CRI***
					<b>-T30</b> :3000K
					<b>-T30-C97</b> :3000K, 97CRI***
					<b>-T35</b> :3500K*
					<b>-T50</b> :5000K*
					<b>-T56</b> :5600K*

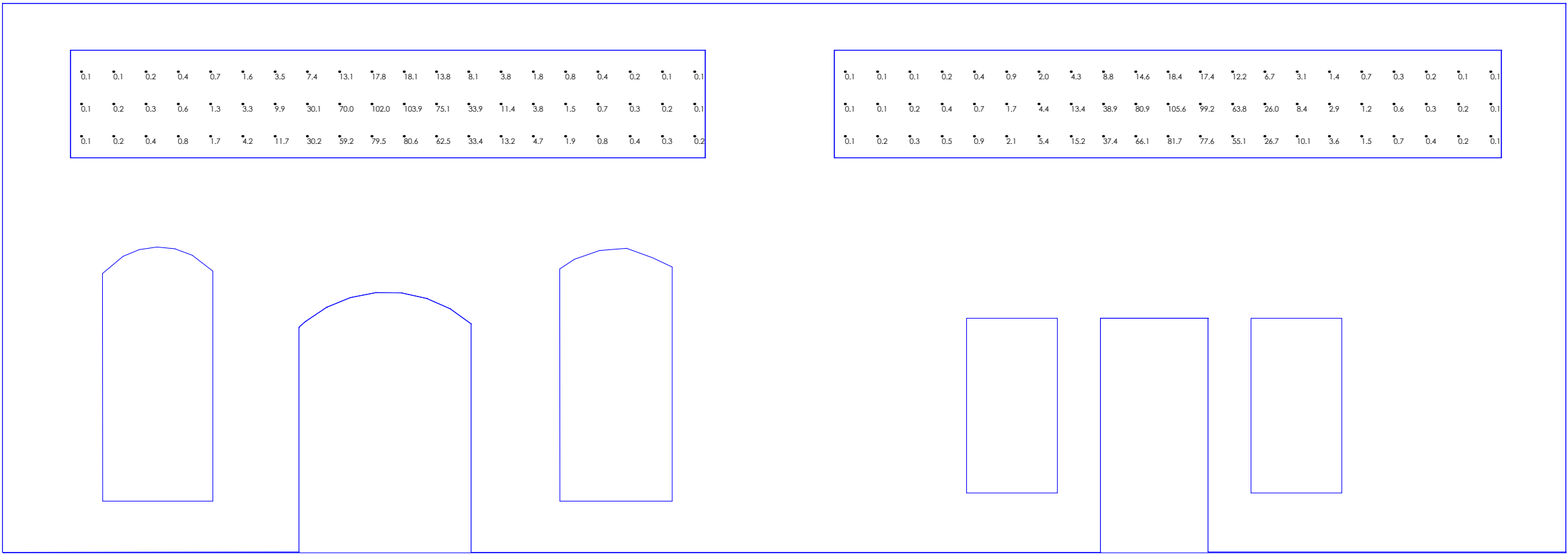
\* Special Order. Minimum order. Extended lead time may apply. Emergency Back Up available. Consult Factory.

\*\*Extended Lead Time may apply. Consult Factory.

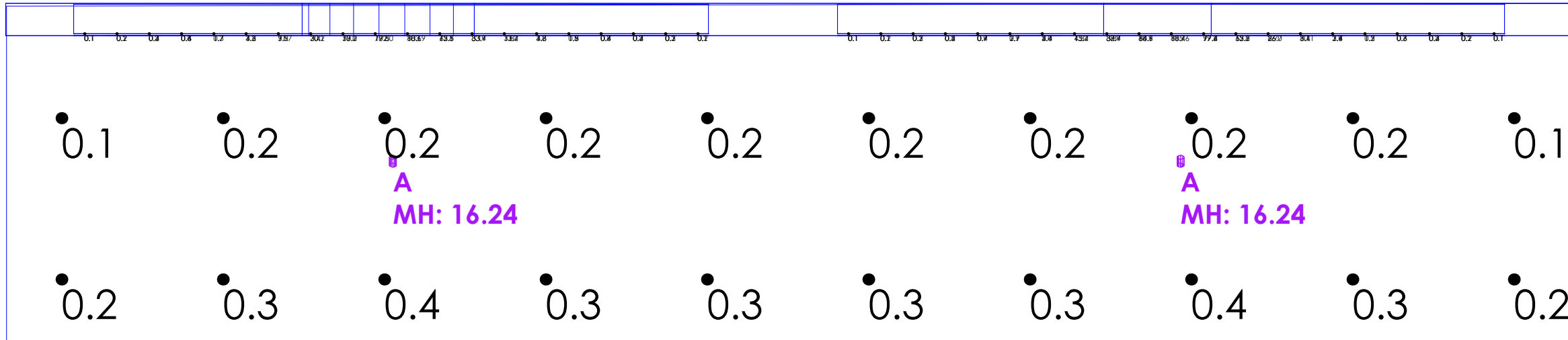
\*\*\*Only available in 2700K and 3000K.

ID#: 3017

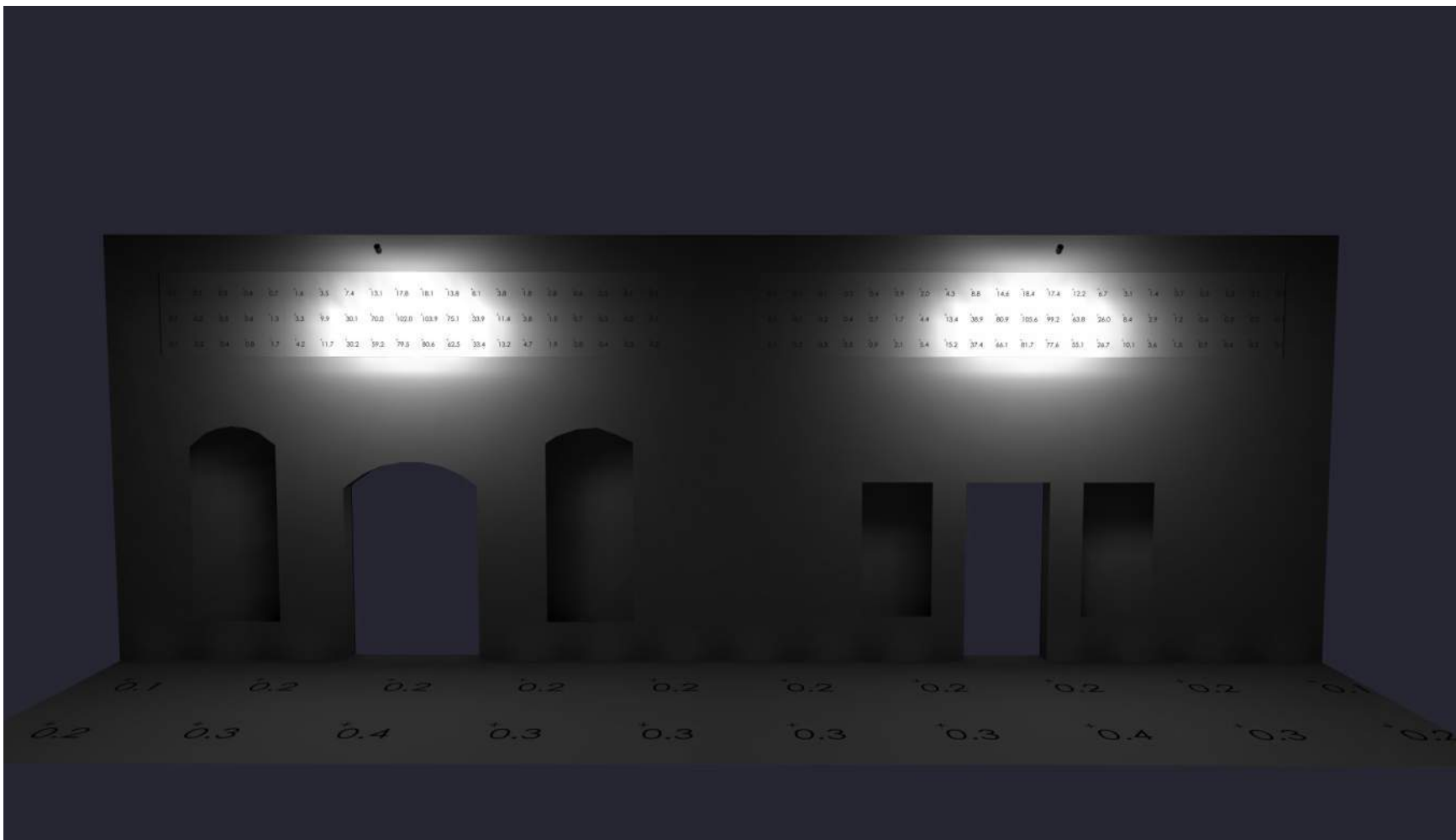
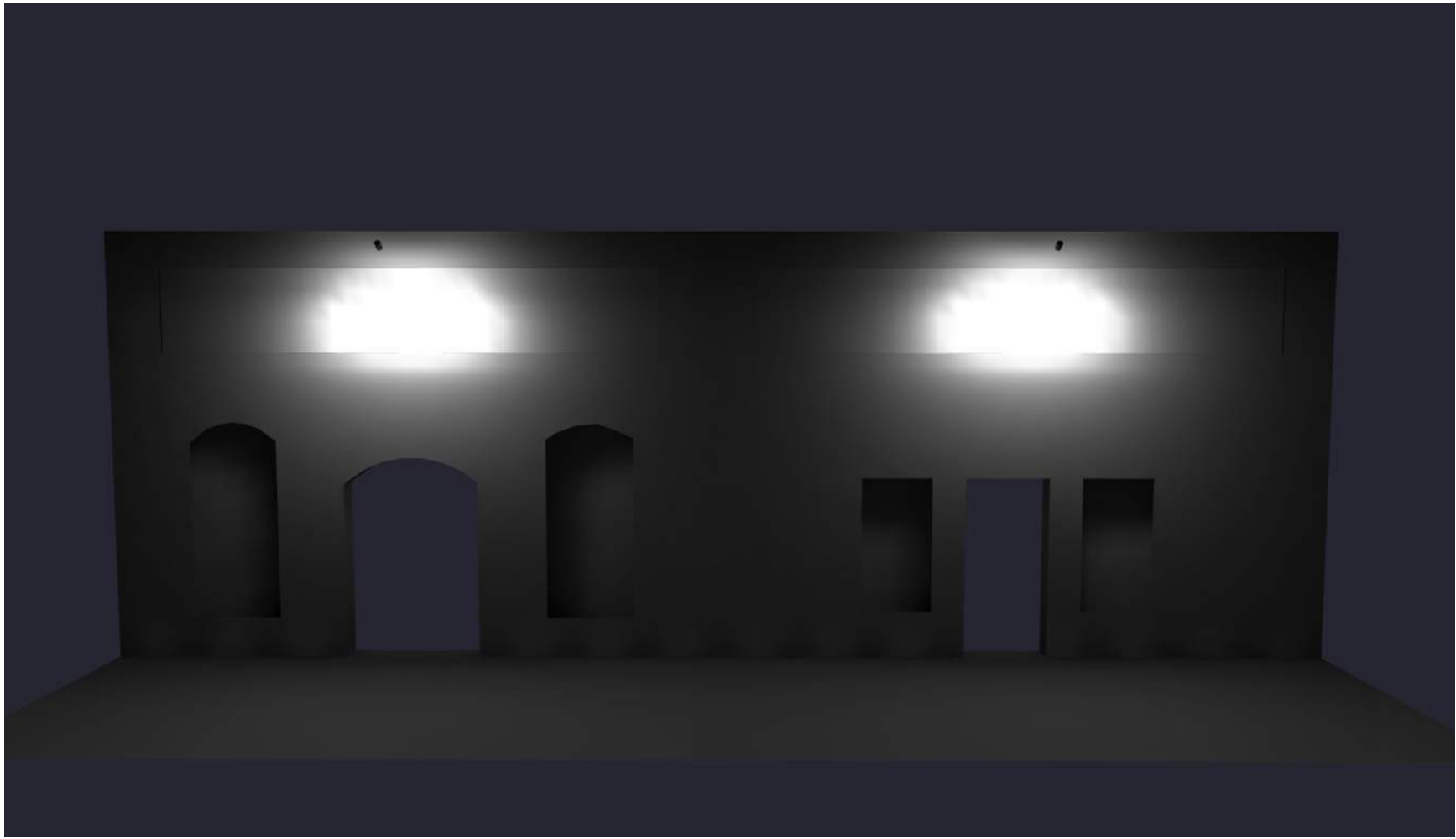
Option 2a: Mount New Fixtures Above Signs - One Fixture per Sign



FACADE PHOTOMETRY  
Scale: 1 inch= 4 Ft.



PLAN VIEW  
Scale: 1 inch= 4 Ft.



Luminaire Schedule										
SYMBOL	QTY	LABEL	Mounting Height	ARRANGEMENT	LLF	DESCRIPTION	Luminaire Lumens	Luminaire Watts	Filename	[MANUFAC]
⊕	2	A	16.24	Single	0.860	DE-LED-TR-X125-SP-13(40"x1")-C-(3000K)	1363	21.6814	DE-LED-TR-X125-SP-13-C-13583921.05.ies	B-K Lighting INC

Calculation Summary										
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	POINT SPACING	CALC PLANE HEIGHT	
GRADE_Planar	Illuminance	Fc	0.24	0.4	0.1	2.40	4.00	5	0	
SIGNAGE_1_Top	Illuminance	Fc	14.72	105.6	0.1	147.20	1056	1	12.24 to 15.574	
SIGNAGE_Top	Illuminance	Fc	15.45	103.9	0.1	154.50	1039	1	12.24 to 15.574	

NOTES:  
- MOUNTING HEIGHT IS A.F.F. OR A.F.G. UNLESS NOTED OTHERWISE  
- CALCULATIONS ARE MAINTAINED HORIZONTAL AND/OR VERTICAL FOOTCANDLES  
- STANDARD REFLECTANCES (0.2 FLOOR, 0.5 WALL, 0.8 CEILING), U.N.O.



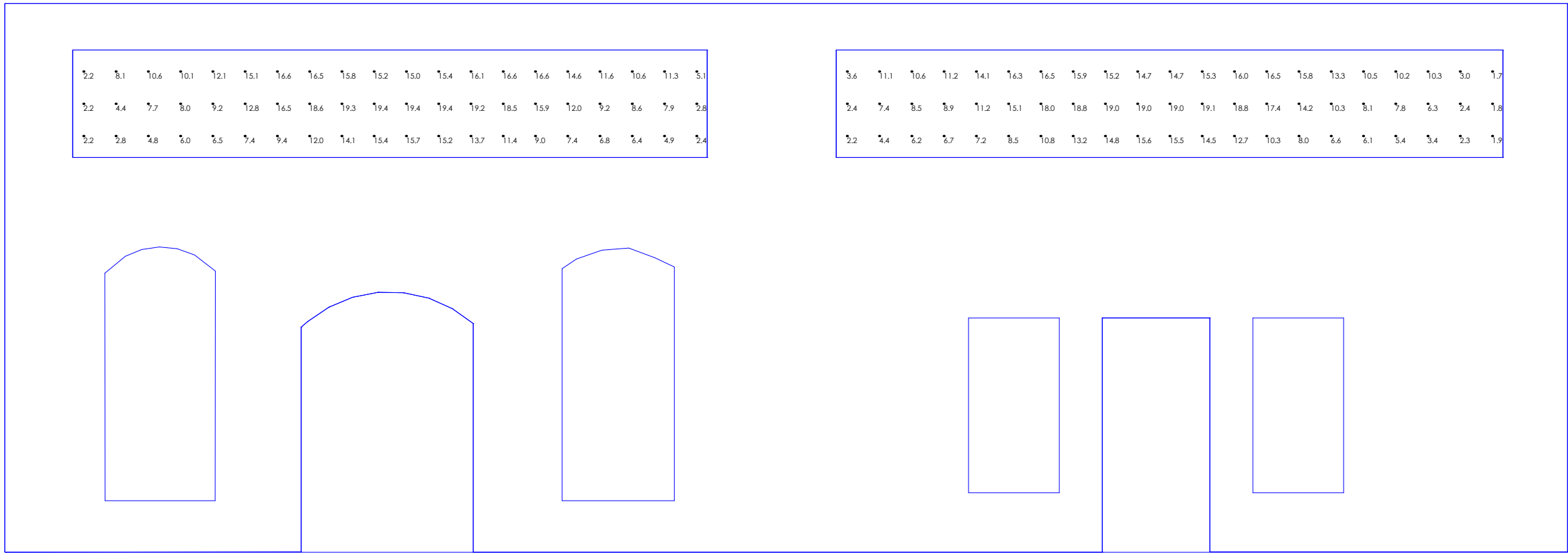
Disclaimer:  
SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures.  
  
This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.)  
  
In general, SESCO Lighting considers numerical studies to be predictive in that they are based on a series of assumptions and are not a guarantee of performance. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer, and, above all, common sense.

Sales Rep: JIMMY NIX  
Office: JACKSONVILLE  
Specifier:  
Photometrics: S.OAKLEY

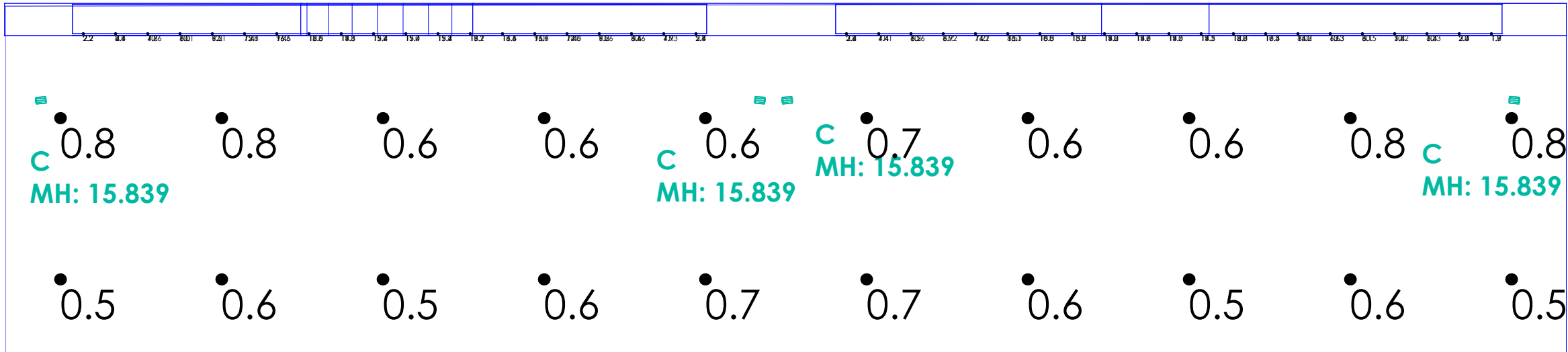
WILLISTON STREET

Date:2/23/2023

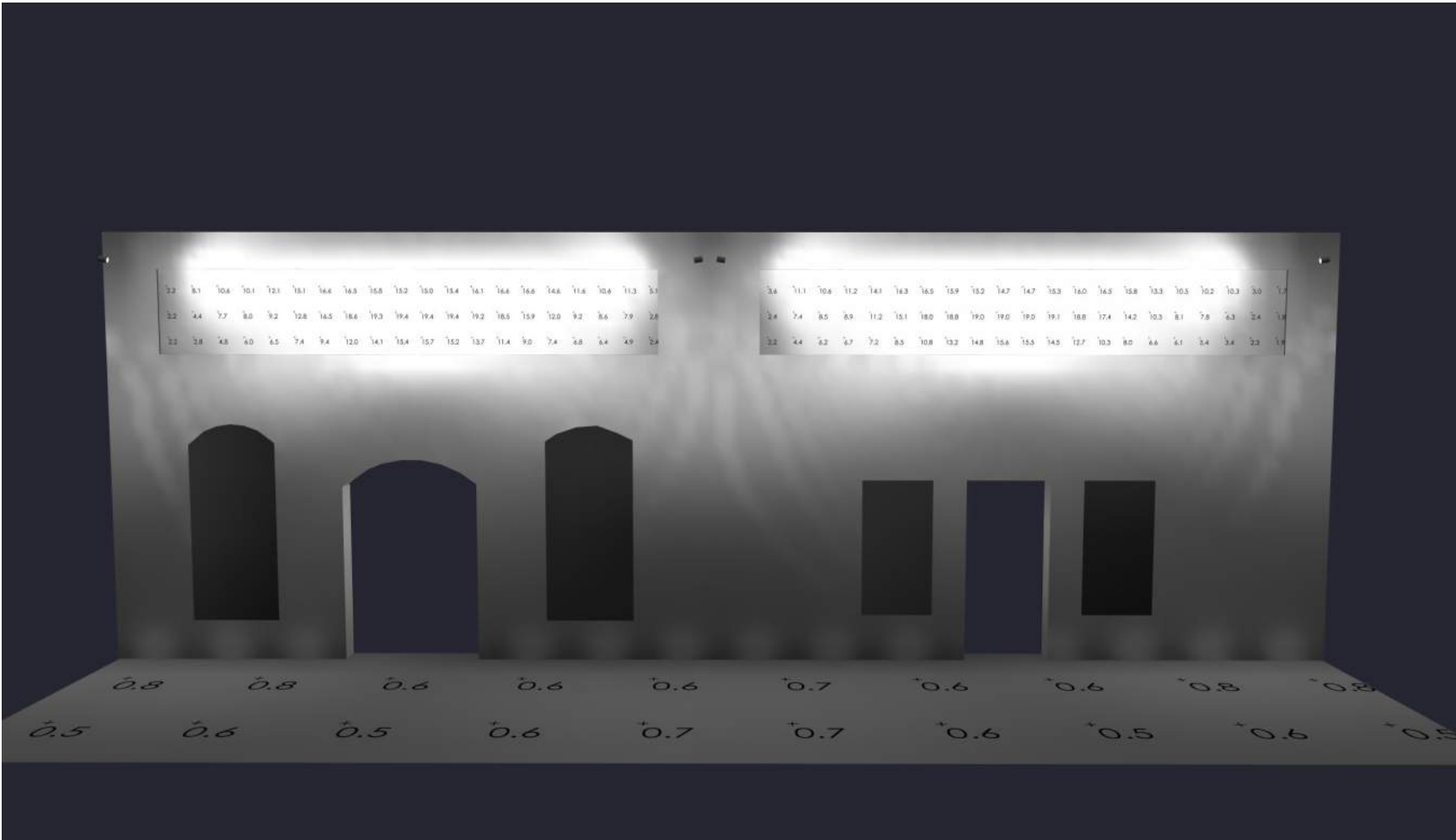
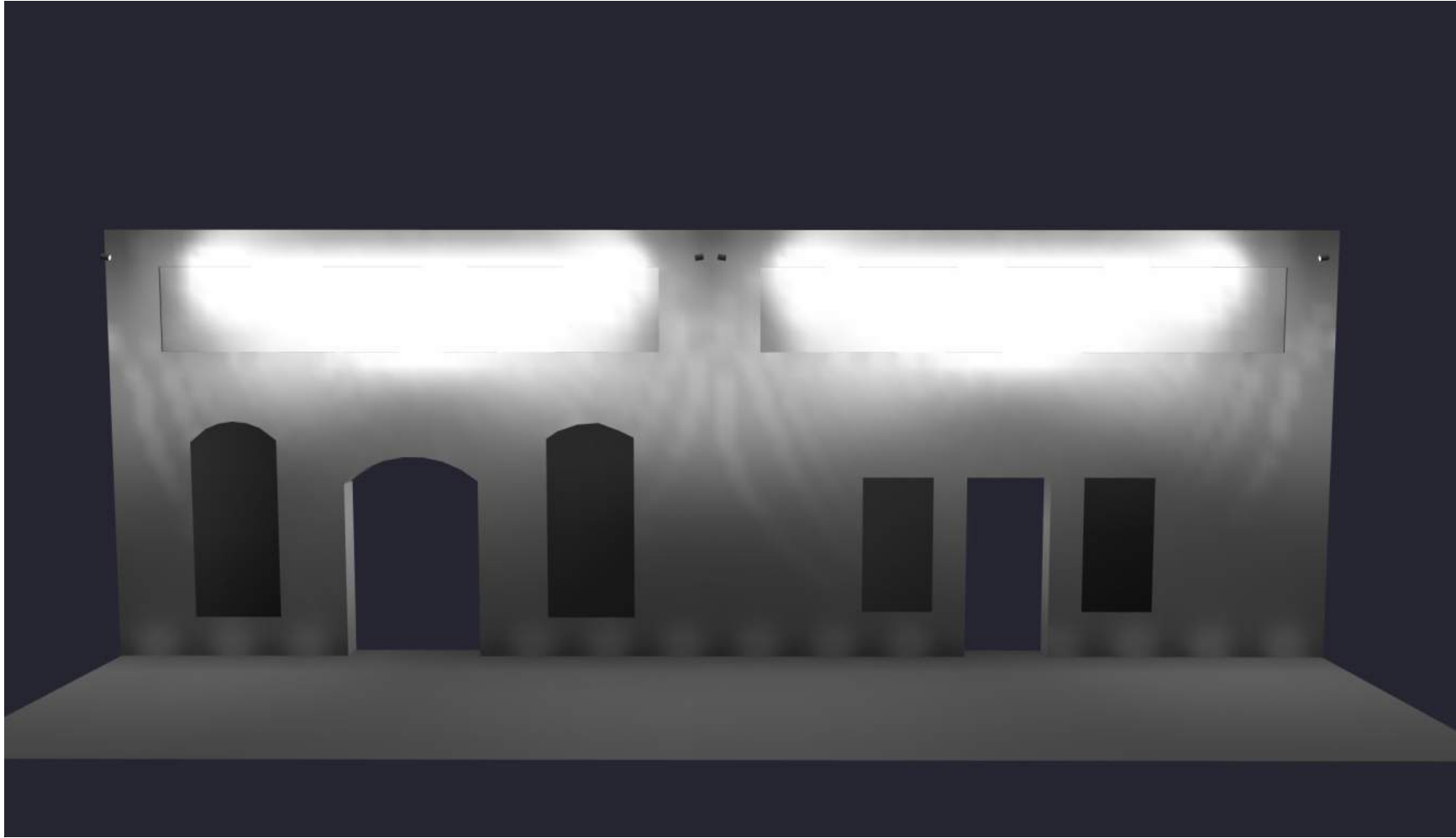
Option 2b: Mount New Fixtures Above Signs - Two Fixtures per Sign



FACADE PHOTOMETRY  
Scale: 1 inch= 4 Ft.



PLAN VIEW  
Scale: 1 inch= 4 Ft.



Luminaire Schedule										
SYMBOL	QTY	LABEL	Mounting Height	ARRANGEMENT	LLF	DESCRIPTION	Luminaire Lumens	Luminaire Watts	Filename	[MANUFAC]
	4	C	15.839	Single	0.860	DE-LED-TR-X125-SP-9-C-(3000K)	1392	21.6959	DE-LED-TR-X125-SP-9-C-13583921.04.ies	B-K Lighting INC

Calculation Summary									
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	POINT SPACING	CALC PLANE HEIGHT
GRADE_Planar	Illuminance	Fc	0.64	0.8	0.5	1.28	1.60	5	0
SIGNAGE_1_Top	Illuminance	Fc	10.89	19.1	1.7	6.41	11.24	1	12.24 to 15.574
SIGNAGE_Top	Illuminance	Fc	11.33	19.4	2.2	5.15	8.82	1	12.24 to 15.574

NOTES:  
- MOUNTING HEIGHT IS A.F.F. OR A.F.G. UNLESS NOTED OTHERWISE.  
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- STANDARD REFLECTANCES (0.2 FLOOR, 0.5 WALL, 0.8 CEILING), U.N.O.



Disclaimer:  
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This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.)  
  
In general, SESCO Lighting considers numerical studies to be predictive in that they estimate the performance of a lighting system under ideal conditions. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer, and, above all, common sense.

Sales Rep: JIMMY NIX

Office: JACKSONVILLE

Specifier:

Photometrics: S.OAKLEY

WILLISTON STREET

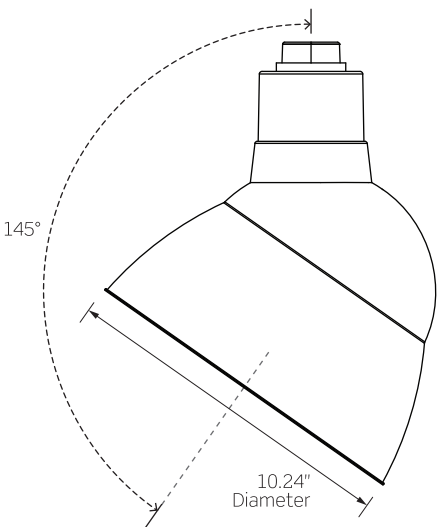
Date:2/23/2023






# VC SERIES | LED Vintage RLM: Angled Sign Lighter



- Classic style RLM Luminaires inspired by vintage fixtures and redesigned with the latest technology and materials
- Multiple Mounting Options for a wide range of applications
- Durable weather resistant Polyester Powder Coat Finishes, Electrostatically applied and Thermo-Cured



**SA10**  
10 Inch Angled Sign Lighter

WATTAGE	10W	14W	18W	22W	36W
LUMEN OUTPUT (3000K) <sup>1</sup>	950 Lm	1300 Lm	1650 Lm	2000 Lm	3000 Lm
COLOR TEMPERATURE	2700K / 3000K / 3500K / 4000K				
CRI	90+				
COLOR CONSISTENCY	3-Step MacAdam Ellipse Tolerance, 3 SDCM				
INPUT POWER	120 - 277VAC 60Hz				
DIMMING TYPE	0-10V Dimming				
AMBIENT OPERATING TEMP	-30°C (-22°F) to 45°C (113°F)				
   LISTINGS	cCSAus Listed to UL and CSA Standards; Suitable for Dry, Damp or Wet locations <sup>2</sup> Can be used to comply with the 2019 Title 24 Part 6 JA8 High Efficacy LED Light Source Requirements Wet Location Pendants and Flush Mount Luminaires must be mounted under covered ceilings <sup>2</sup>				
WARRANTY	Five (5) year replacement after date of purchase				
SYSTEM RATING	50,000 Hours @ 70% Lumen Maintenance				

1. Approximate Lumen output based on 3000K performance; see photometric test results for additional information  
2. Sloped Ceiling Pendants (HSM) only suitable for Dry or Damp Locations

DATE

PROJECT

TYPE

# VC SERIES | LED Vintage RLM: Angled Sign Lighter

## ORDERING INFORMATION

Example Order: VCSLSA10LDD1630KLG1N1 – S

### VCSLSA10

1. Shade Size	2. LED Series	Color Temp	3. Mounting	4. Finish <sup>5</sup>
<b>VCSLSA10</b> - 10 In.	<b>LDD8</b> - 10W <b>LDD12</b> - 14W <b>LDD16</b> - 18W <b>LDD20</b> - 22W <b>LDD30</b> - 36W	<b>27K</b> - 2700K <b>30K</b> - 3000K <b>35K</b> - 3500K <b>40K</b> - 4000K	<b>FM</b> - Flush Mount <b>LSM6<sup>3</sup></b> - 6 In. Stem Mount Pendant <b>LSM12<sup>3</sup></b> - 12 In. Stem Mount Pendant <b>LSM24<sup>3</sup></b> - 24 In. Stem Mount Pendant <b>LSM36<sup>3</sup></b> - 36 In. Stem Mount Pendant <b>HSM6<sup>3</sup></b> - 6 In. Stem Mount Pendant, Sloped Ceiling Canopy <b>HSM12<sup>3</sup></b> - 12 In. Stem Mount Pendant, Sloped Ceiling Canopy <b>HSM24<sup>3</sup></b> - 24 In. Stem Mount Pendant, Sloped Ceiling Canopy <b>HSM36<sup>3</sup></b> - 36 In. Stem Mount Pendant, Sloped Ceiling Canopy <b>LGN1<sup>4</sup></b> - Gooseneck Design 1 <b>LGN2<sup>4</sup></b> - Gooseneck Design 2 <b>LGN3<sup>4</sup></b> - Gooseneck Design 3 <b>LGN4<sup>4</sup></b> - Gooseneck Design 4 <b>LGN5<sup>4</sup></b> - Gooseneck Design 5	<b>B</b> - Jet Black <b>G</b> - Evergreen <b>P</b> - Sky White <b>S</b> - Vintage Steel <b>CXXXX<sup>6</sup></b> - Custom Finish Specify RAL Number

3. All Stems have 3/4-Inch NPT (National Pipe Taper) Threaded Ends

4. See Page 4 for Gooseneck Design Options

5. Finish Selection determines Shade and Mounting Hardware colors; Interior of all Shades is Sky White, except Vintage Steel.

Vintage Steel Shade will have the same finish on interior and exterior of Shade

6. Custom Finish will require additional lead time and extra charge

The following pages will walk through ordering details

DATE

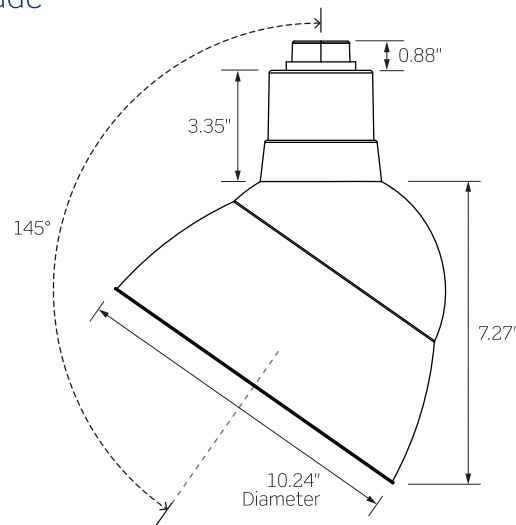
PROJECT

TYPE

## VC SERIES | LED Vintage RLM: Angled Sign Lighter

### ORDERING INFORMATION

#### STEP 1 | Select Shade



**SA10**  
10 Inch Angled Sign Lighter

#### STEP 2 | Select LED Option

- 120 - 277 VAC Input
- 0 - 10V Dimming
- 2700K, 3000K, 3500K, 4000K
- 90 +CRI
- Color Consistency within a 3-Step MacAdam Ellipse Tolerance; 3 SDCM
- Frosted Domed Lens
- The following dimmers are compatible and provide dimming down to 1.1%:  
Leviton IP710, Lutron Diva DVSTV-WH, Lutron Nova NTSTV-DV

LED		
LED	LED Series	Color Temp
LDD - LED with Domed Frosted Lens	8 - 10W	27K - 2700K
	12 - 14W	30K - 3000K
	16 - 18W	35K - 3500K
	20 - 22W	40K - 4000K
	30 - 36W	

### DELIVERED OUTPUT

3000K, 90CRI, Frosted Domed Lens, Sky White Interior Shade Finish

WATTAGE	10W		14W		18W		22W		36W	
	LUMENS*	LM/W	LUMENS*	LM/W	LUMENS*	LM/W	LUMENS*	LM/W	LUMENS*	LM/W
SL10	967	96	1326	96	1667	94	1988	91	2971	83

\*For Vintage Steel shade finish, multiply delivered lumens by 0.62



DATE

PROJECT

TYPE

## VC SERIES | LED Vintage RLM: Angled Sign Lighter

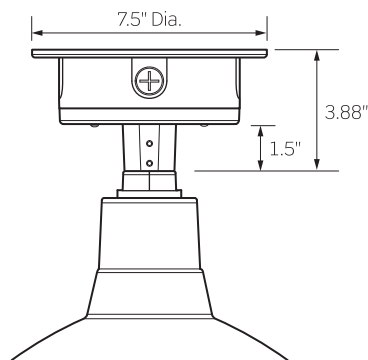
### ORDERING INFORMATION

#### STEP 3 | Select Mounting Style

##### CANOPY OPTIONS

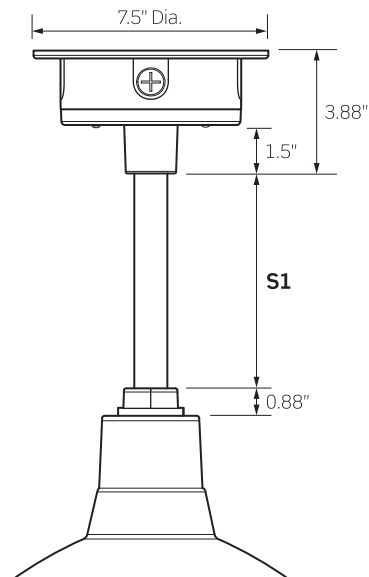
#### FM

Flush Mount with LED Driver Housing



#### LSM

Stem Mount

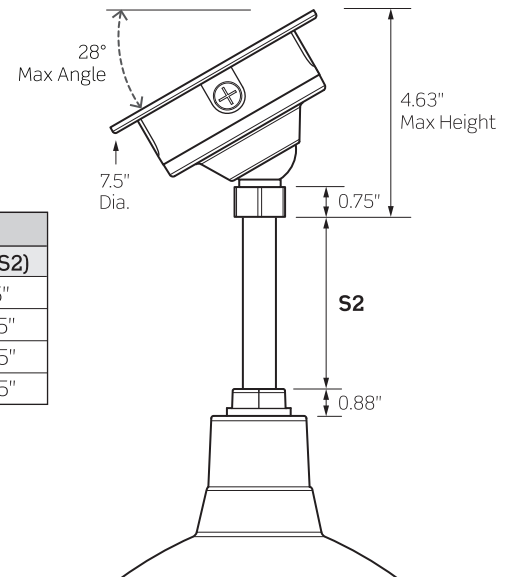


**Standard Stem Lengths:**  
6, 12, 24 and 36 Inch

VISIBLE STEM LENGTHS		
Mount	LSM (S1)	HSM (S2)
6 In. Nominal	3.88"	4.25"
12 In. Nominal	9.88"	10.25"
24 In. Nominal	21.88"	22.25"
36 In. Nominal	33.88"	34.25"

#### HSM

Sloped Ceiling Canopy with Stem Mount



Gooseneck Options follow

DATE

PROJECT

TYPE

# VC SERIES | LED Vintage RLM: Angled Sign Lighter

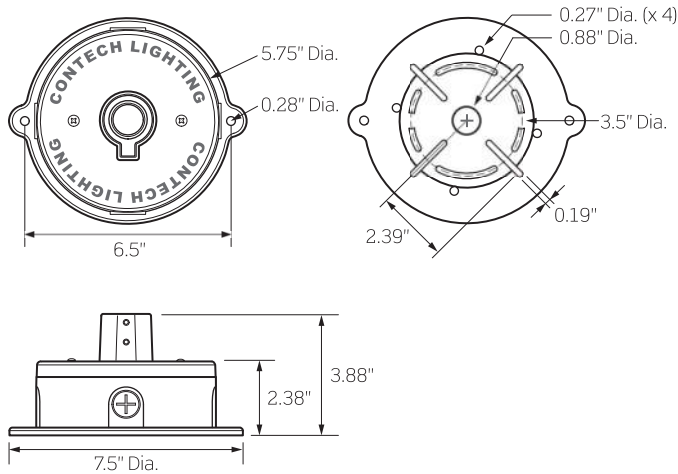
## ORDERING INFORMATION

### STEP 3 | Select Mount

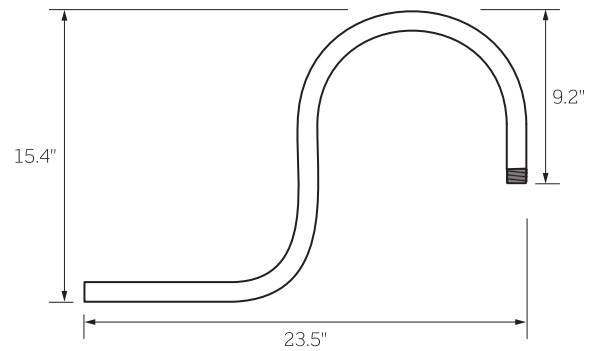
#### 3/4-INCH NPT GOOSENECKS

##### Wall Flange & Driver Compartment

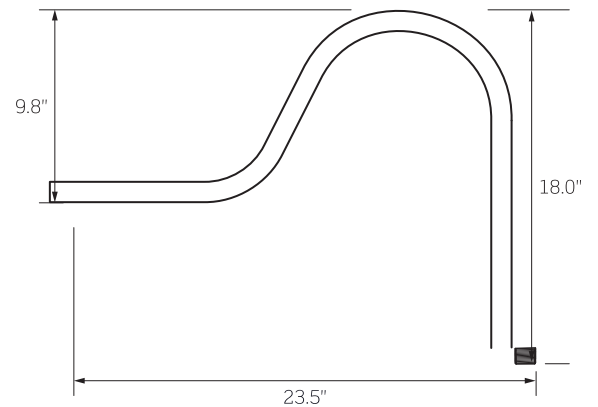
Included with Gooseneck



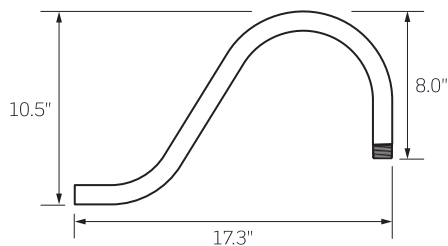
##### LGN3



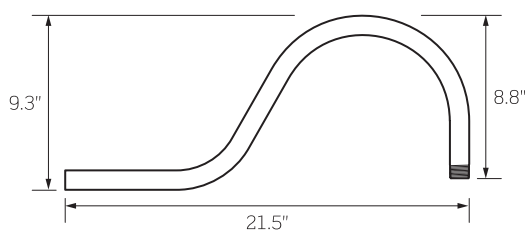
##### LGN4



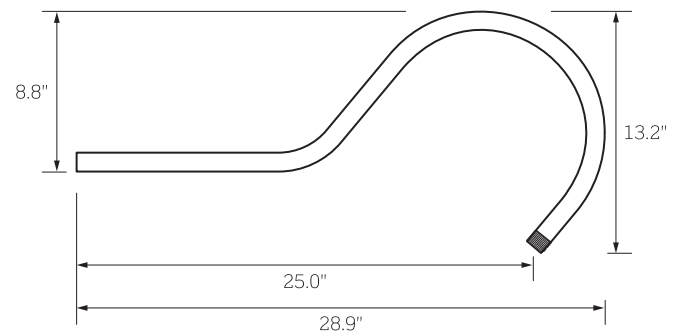
##### LGN1



##### LGN2



##### LGN5



DATE

PROJECT

TYPE

## VC SERIES | LED Vintage RLM: Angled Sign Lighter

### ORDERING INFORMATION

#### STEP 4 | Select Finish

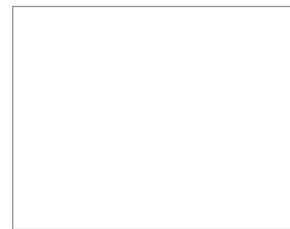
- Standard finishes are high gloss polyester powder coat with excellent corrosion resistance properties
- Finish selection determines Shade and Mounting Hardware colors
- Interior of all Shades is Sky White, except Vintage Steel. Vintage Steel Shade will have the same finish on interior and exterior of Shade
- Custom Finish will require additional lead time and extra charge



B - Jet Black



G - Evergreen



P - Sky White



S - Vintage Steel



CXXXX - Custom Finish  
Specify RAL Number

For a list of 177 Custom Finish RAL numbers, see Vintage RLM RAL Colors data sheet

### PRODUCT CONSTRUCTION

- **SHADES:** Powder Coated Spun Aluminum
- **ENCLOSURE** and **CONDUIT PLUGS:** Powder Coated Cast Aluminum
- **DOMED LENS:** Polycarbonate
- **WALL FLANGES, CANOPIES** and **SHADE NUTS:** Powder Coated Cast Aluminum
- **GOOSENECKS:** Powder Coated Schedule 40 Aluminum Pipe
- **STEMS:** Powder Coated Schedule 40 Carbon Steel Pipe
- **EXPOSED HARDWARE:** Stainless Steel

DATE

PROJECT

TYPE

# VC SERIES | LED Vintage RLM: Angled Sign Lighter

## PHOTOMETRICS

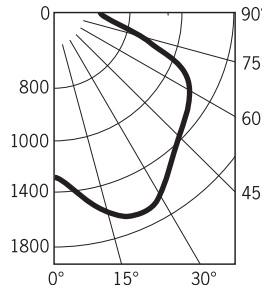
### VCSLDSA10: 10-Inch Angled Sign Lighter, White Interior, 3000Lm, 3000K

Fixture Delivered Lumens: 2971.4  
 Total Watts@120V: 35.9  
 Lumens Per Watt: 82.8  
 Center Beam Candle Power: 1709.5  
 Beam Distribution: 85.2°  
 Spacing Criterion: 1.10  
 Color Rendering Index (CRI)<sup>1</sup>: 90.8  
 Color Temperature (CCT)<sup>2</sup>: 3067K  
 Designed for 50,000 Hour Lamp Life<sup>3</sup>  
 LM-63 Test No. G21120606  
 LM-79 Test No. S21111101

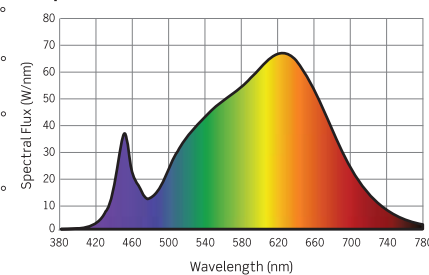
#### Intensity Distribution

DISTANCE (FT.)	FOOTCANDLES (FC)	BEAM DIAMETER (FT.)
6 FT	35.5	18.4
8 FT	20.0	24.5
10 FT	12.8	30.6
12 FT	8.9	36.7
14 FT	6.5	42.9
16 FT	5.0	49.0

#### Candela Curve



#### Spectral Power Distribution Chart<sup>4</sup>



1. Accuracy of Rendering Colors 2. Color Appearance of Light Source 3. Dependent on Surrounding Temperatures 4. Colors Present within the Light Source

## PHOTOMETRIC MULTIPLICATION FACTORS

Lumen output values fluctuate based on Color Temperature, Luminaire Wattage/Output and Shade Finish. To estimate lumen output of these various options, multiply 3000K results by the following:

CCT MULTIPLIERS			
CCT	STD CRI	CCT	STD CRI
2700K	0.96	3500K	1.05
3000K	N/A	4000K	1.08

VINTAGE STEEL FINISH MULTIPLIER
0.62

DATE

PROJECT

TYPE

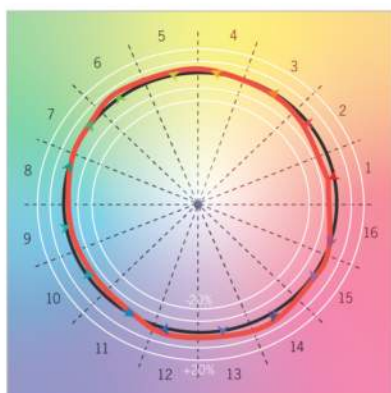
# VC SERIES | LED Vintage RLM: Angled Sign Lighter

## TM-30 DATA: VCSLSA10LDD3030K

10-Inch Angled Sign Lighter, White Interior, 3000Lm, 3000K

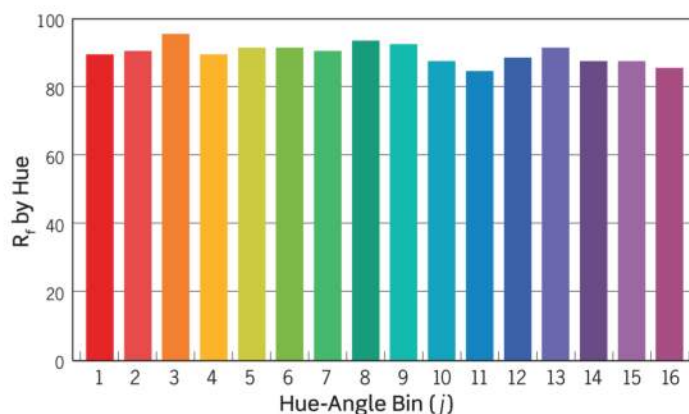
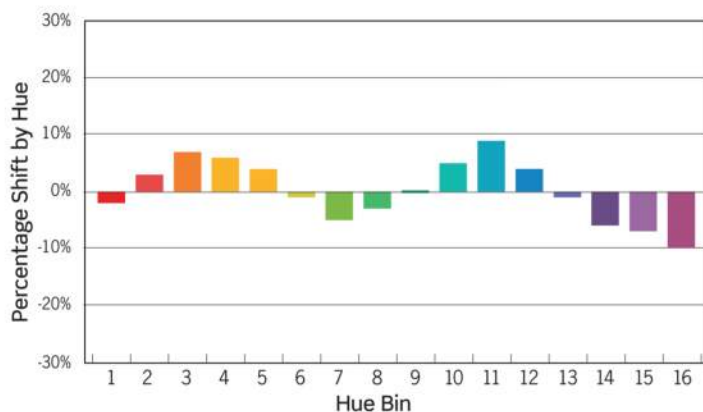
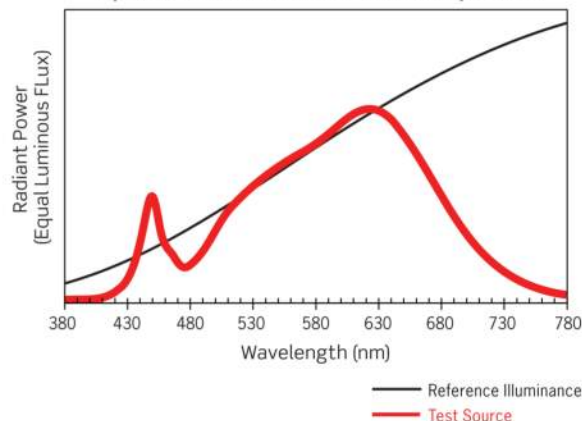
$R_f$	91
$R_g$	101
CCT(K)	3067K
$D_{uv}$	0.0015
$u^I$	0.2477
$v^I$	0.5221

Color Vector Graphic



— Reference Illuminance — Test Source

Spectral Power Distribution Comparison



HUE BIN	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
HUE SHIFT	-2%	3%	7%	6%	4%	-1%	-5%	-3%	0%	5%	9%	4%	-1%	-6%	-7%	-10%
R <sub>f</sub> VALUE	91	92	87	91	93	93	92	95	94	89	86	90	93	89	89	87

ANSI/IES TM-30-18 Color Rendition Report Test No. S21111101  
Colors are for visual orientation purposes only

If you are interested in other sources that may be available for a particular product, please email us at [info@bklighting.com](mailto:info@bklighting.com) (<mailto:info@bklighting.com>) or call ☎ (559) 438-5800 (tel:15594385800).

# Sign Star - Style D

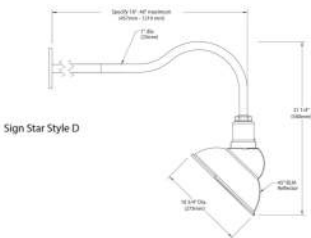
- Features
- Downloads
- Mounting
- Inspiration

## Technical Features

Series	Source	Aperture	Input Voltage	LED Colors	Materials
SN	LED	2 1/4"	12V	● 2700K ● 3000K ● 4000K ● Amber	● Aluminum



(/images/product\_images/1347/01-fs-1347.jpg)



(/images/product\_images/1347/02-cad-1347.jpg)

## Features

SEND FEEDBACK

- 7W, up to 520 delivered lumens
  - 13°, 16°, 23° and 31° optics
  - D style features dual bend, 90° radius from fixture to stem
  - Water-tight seal
- Fully machined, 1" dia. stem with internal threads
  - Architectural dimming capabilities
  - Modular design supports easy upgrades
  - Made in the USA with sustainable processes

## Downloads

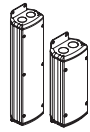
- Sign Star - Style D
- Remote Power Supplies

## Alternative Source

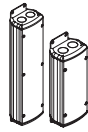
- LED Lamp - MR16



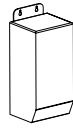
## Remote Power Supply



PM1DRM & PM1RM

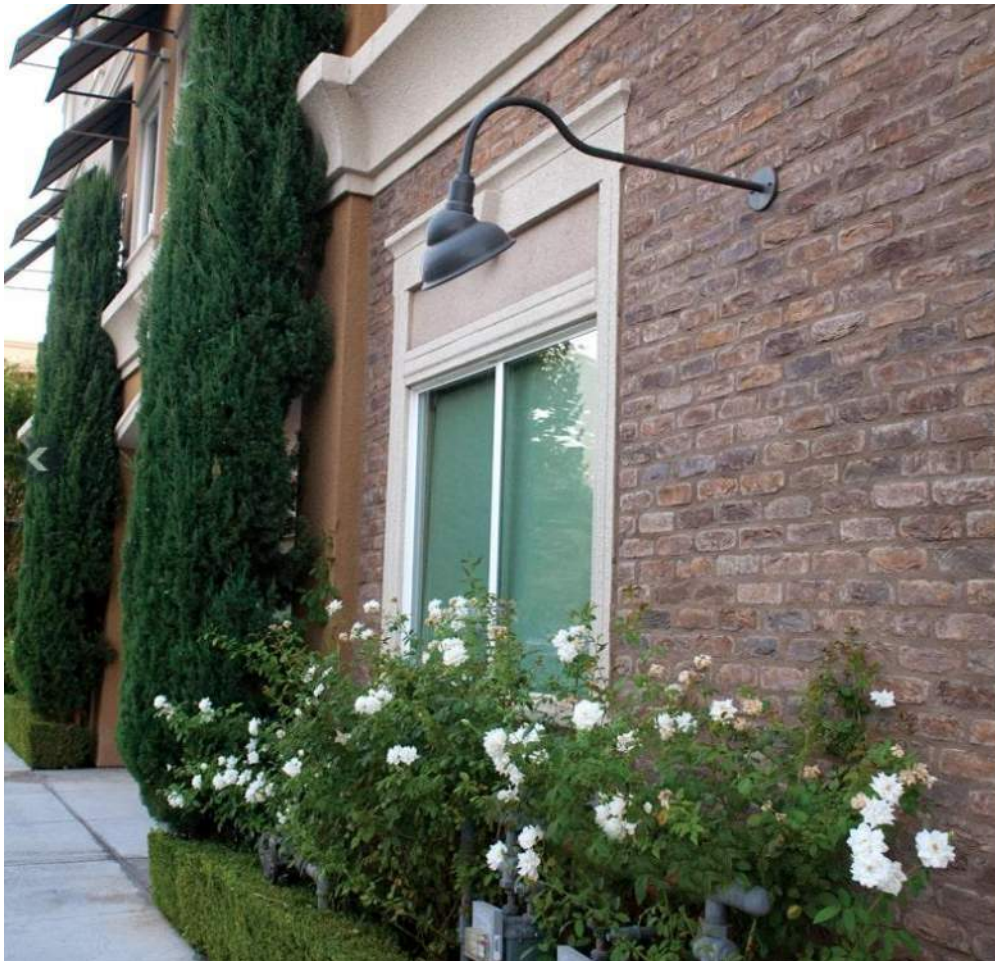


PM2DRM & PM2RM



Magnetic Transformer

## Inspiration



R  
D  
ur  
w  
de  
w  
m

## TOOLS

[Find a Rep \(/index.php/agent-locator\)](#)

[Inspiration App \(https://apps.apple.com/us/app/inspiration-2-0/id1148715266\)](https://apps.apple.com/us/app/inspiration-2-0/id1148715266)

[Inspiration Guide \(/collaterals/install/install-1240.pdf\)](#)

[Install Guide: DIG-IT \(/collaterals/install/digit.pdf\)](#)

[LED Low Voltage Calculator \(/index.php/lvg.html\)](#)

[Order Status & Tracking \(/index.php/order-status.html\)](#)

[Pole Handling & Storage \(/images/sales\\_blog/Sales\\_Blog\\_PDFs/Pole\\_Handling\\_Storage.pdf\)](#)

SALES REPRESENTATIVES

- Rep Login (/index.php/rep-login)
- Register (/index.php/rep-login.html?view=registration)
- Remind Username (/index.php/rep-login?view=remind)
- Reset Password (/index.php/rep-login?view=reset)









CONTINUING EDUCATION

- B-K University (<http://www.b-kuniversity.com>)
- AIA (<https://www.aia.org/continuing-education>) | LA CES (<https://laces.asla.org/>) | NCQLP (<https://www.ncqlp.org/Renewal>)
- IES (<https://www.ies.org/>)


SUSTAINABILITY

- 35,000 Trees Campaign (/index.php/about-us/news/9-celebrating-35-years-by-planting-35-000-trees)
- Beyond LED?
- GSI: GreenSource Initiative (/index.php/uncategorised/1532-gsi-greensource-initiative)

SOCIAL

-  Archello (<https://archello.com/brand/b-k-lighting>)
-  Community (<https://becommunity.bklighting.com/>)
-  Facebook (<http://www.facebook.com/BKTEKA/>)
-  Instagram (<https://www.instagram.com/bklighting/?hl=en>)
-  LinkedIn (<http://www.linkedin.com/company/b-k-lighting>)
-  Pinterest (<http://www.pinterest.com/bklighting/>)
-  Twitter (<http://twitter.com/bklighting?lang=en>)
-  YouTube (<http://www.youtube.com/channel/UCwDoJeBW2QGgkcFep8FBUZg>)

INFORMATION

- Contact Us (/contact): [info@bklighting.com](mailto:info@bklighting.com)  
(<mailto:info@bklighting.com>)
- p:  (559) 438-5800 (tel:+15594385800)
- f: (559) 438-5900
- 40429 Brickyard Drive Madera, CA 93636  
(<https://www.google.com/maps/dir//40429+Brickyard+Dr,+Madera,+CA+93636/@36.8979954,-119.814005,17z/data=!4m8!4m7!1m0!1m5!1m1!1s0x809469f2b35e099f:0xdcade0511a38892b!2m2!1d-119.8118163!2d36.8979911>)
- Map & Directions  
(<https://www.google.com/maps/dir//40429+Brickyard+Dr,+Madera,+CA+93636/@36.8979954,-119.814005,17z/data=!4m8!4m7!1m0!1m5!1m1!1s0x809469f2b35e099f:0xdcade0511a38892b!2m2!1d-119.8118163!2d36.8979911>)

NOTICE

- © B-K Lighting, Inc. 2023
- Privacy Policy (/index.php/about-us/privacy-policy)
- Terms & Conditions (/index.php/about-us/1577-terms-conditions.html)



(<http://www.tekaillumination.com>)

Star Finishes (<http://www.starfinishes.com>) | Etendue Cafe (<https://www.etendue-cafe.com/>)



# EVERGREEN SIGN LIGHT CATALOG

Fixture C



PROJECT NAME: \_\_\_\_\_

PROJECT TYPE: \_\_\_\_\_

\*SKIP SECTION IF OPTION DOES NOT APPLY

MODEL #	/	/	/	/	/	/	/	/	/
EXAMPLE:	A	B	C	D	E	F	G	H	I
	EDS12	MG	E13	SQ¼"	23	100INC	BAX	GR12	44

## A - SHADES

### ANGLE SHADES

EA807  
EA810  
EA812  
EA814

### DOVE SHADES

EDS07  
EDS10  
EDS12  
EDS14

### EMBLEM SHADES

EM707  
EM710  
EM710S  
EM712  
EM718

### CONE SHADES

ECN08  
ECN12  
ECN14

### ELLIPTICAL SHADES

ELS10  
ELS12  
ELS14

## B - FINISH OPTION

### ALL PURPOSE

AB – ARCHITECTURAL BRONZE  
ORB – OIL RUBBED BRONZE  
MBK – MATTE BLACK  
MW – MATTE WHITE  
MG – METALLIC GREY  
MN – METALLIC NICKEL  
SB – SATIN BRASS  
CM – COPPER METALLIC  
CV – COPPER VEIN  
GV – GOLD VEIN  
SV – SILVER VEIN

### GLOSS FINISHES

GW – GLOSS WHITE  
GBK – GLOSS BLACK  
GRN – GLOSS GREEN  
RD – GLOSS RED  
BL – GLOSS BLUE  
NBL – GLOSS NAVY BLUE  
YL – GLOSS YELLOW

### TEXTURED (EXTERIOR)

TW – TEXTURED WHITE  
TBK – TEXTURED BLACK  
TBR – TEXTURED BRONZE  
TR – TEXTURED RUST  
TVP – TEXTURED VERDE PATINA

## C - MOUNTING

### 1/2" RM EXTENSIONS

E1	E22	E34 **
E2	E23	E35 **
E2S	E24	E36 **
E3	E31 **	E37 **
E4	E32 **	E38 **
E18A	E33 **	

### 3/4" RM EXTENSIONS

E3A	E9	E20
E4A	E10	E21
E5	E11	E25
E6	E12	E38
E7	E13	E15
E8	E19	

**\*E14- CREATE YOUR OWN**  
(EVERGREEN WILL TAKE YOUR SKETCH AND FABRICATE A CUSTOM ARM EXTENSION TO MEET YOUR NEEDS).

## D – MOUNTING ADD-ONS

SMSWL      TRB¼"  
LGSWL      SQ½"  
TRB½" SQ¼"

## E – MOUNTING COLOR

SEE SECTION "B" FOR COLOR OPTIONS.

## F – LIGHT SOURCE

### INCANDESCENT (INC)

60W  
100W  
**GU24**  
13W  
26W  
32W  
42W

### LIGHT EMITTED DIODE (LED)

7W  
12W  
25W

## NOTES

ACCORDING TO THE LIGHT SOURCE, THE BACKPLATE MAY VARY IN SIZE.

\* ALL ARMS COME WITH A CAST BACKPLATE (CB½", CB¾", LWTM, CFWTM, ECT.)



CL3	FRT4	RE3
CL4	AH3	RE4
CLT3	AH4	BL3
CLT4	PR3	BL4
FR3	PR4	GR3
FR4	PRT3	GR4
FRT3	PRT4	

## H - ACCESSORIES

GR7      GR14  
GR8      GR18  
GR10      GU-1  
GR12      GU-2

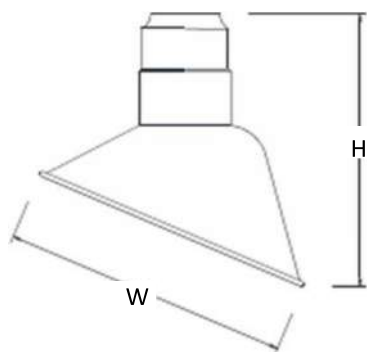
## I – ACCESSORY COLOR

SEE SECTION "B" FOR COLOR OPTIONS.



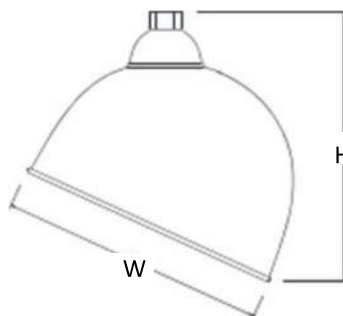
## A- SHADES

### ANGLE SHADES



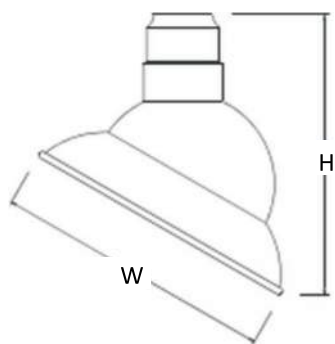
	HEIGHT	WIDTH
<b>EA807</b>	8"	7"
<b>EA810</b>	10.75"	10"
<b>EA812</b>	12.5"	12"
<b>EA814</b>	14"	14"

### DOME SHADES

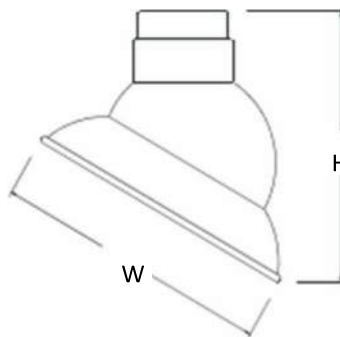


	HEIGHT	WIDTH
<b>EDS07</b>	8.5"	7"
<b>EDS10</b>	10.25"	10"
<b>EDS12</b>	13"	12"
<b>EDS14</b>	13"	14"

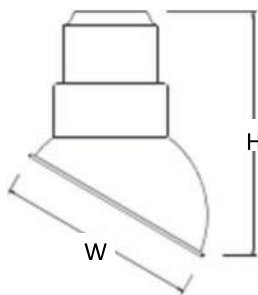
### EMBLEM SHADES



	HEIGHT	WIDTH
<b>EM710</b>	11.25"	10"
<b>EM712</b>	12.5"	12"
<b>EM718</b>	18"	18"

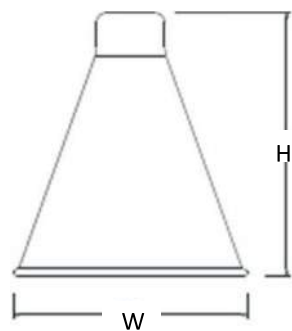


	HEIGHT	WIDTH
<b>EM710S</b>	9.5"	10"



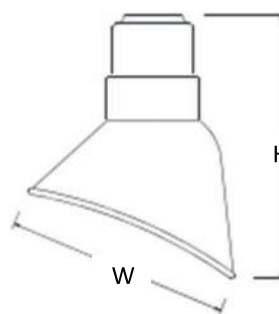
	HEIGHT	WIDTH
<b>EM707</b>	8.5"	7"

### CONE SHADES



	HEIGHT	WIDTH
<b>ECN08</b>	8.5"	8"
<b>ECN12</b>	9.25"	12"
<b>ECN14</b>	7.5"	14"

### ELLIPTICAL SHADES



	HEIGHT	WIDTH
<b>ELS10</b>	10.75"	9"
<b>ELS12</b>	12.5"	11"
<b>ELS14</b>	14"	13"

## B- FINISHES

EVERGREEN USES A DURABLE POWDER COATING TO FINISH THEIR SHADES. THE POWDER COATING PROCESS ALLOWS THE SHADES TO HAVE A THICKER COATING OF PAINT, WHICH ENSURES A HIGHER QUALITY PROTECTIVE COATING. EVERGREEN OFFERS A WIDE RANGE OF COLORS TO CHOOSE FROM. CALL FOR CUSTOM COLOR OPTIONS.



AB – ARCHITECTURAL  
BRONZE



ORB – OIL RUBBED  
BRONZE



MBK – MATTE BLACK



MW – MATTE WHITE



MG – METALLIC GREY



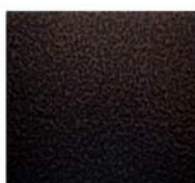
MN – METALLIC  
NICKEL



SB – SATIN BRASS



CM – COPPER METALLIC



CV – COPPER VEIN



GV – GOLD VEIN



SV – SILVER VEIN



GW – GLOSS WHITE



GBK – GLOSS BLACK



GRN – GLOSS GREEN



RD – GLOSS RED



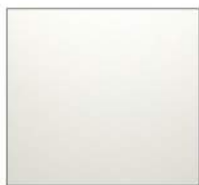
BL – GLOSS BLUE



NBL – GLOSS NAVY  
BLUE



YL – GLOSS YELLOW



TW – TEXTURED WHITE



TBK – TEXTURED BLACK



TBR – TEXTURED BRONZE



TR – TEXTURED RUST

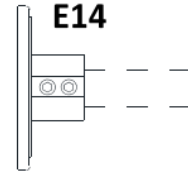
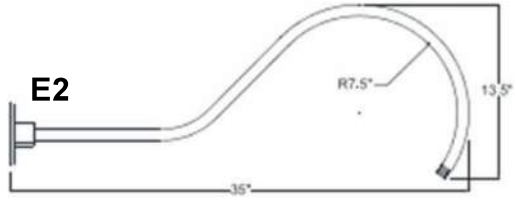
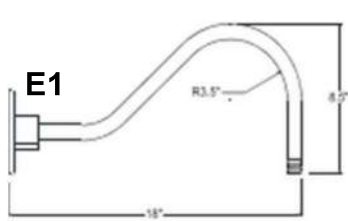


TVP – TEXTURED VERDE  
PATINA

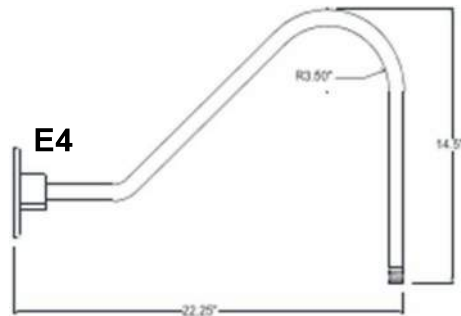
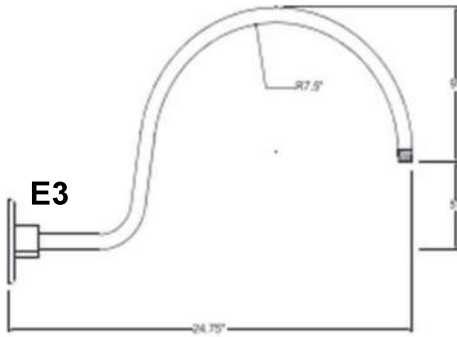
\*ALL FINISH COLORS FEATURE A WHITE INTERIOR OF THE SHADE.

## C – MOUNTING OPTIONS

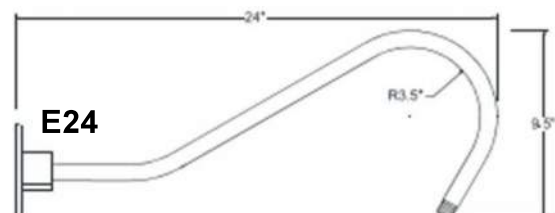
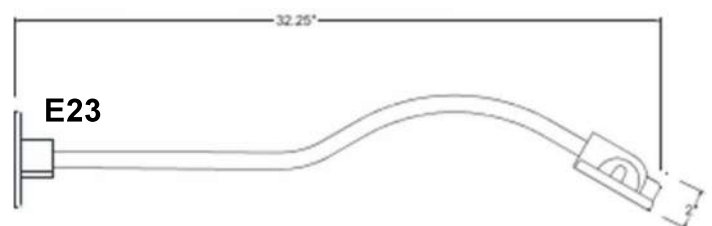
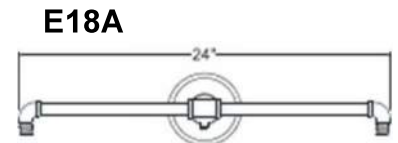
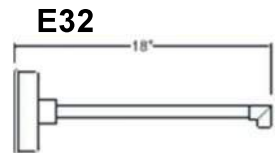
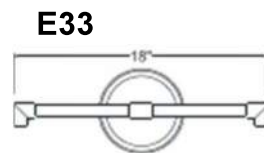
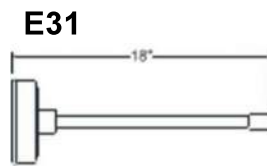
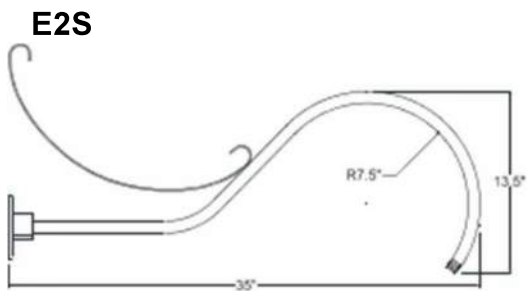
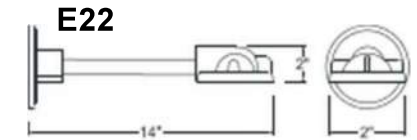
### 1/2" ARM EXTENSIONS



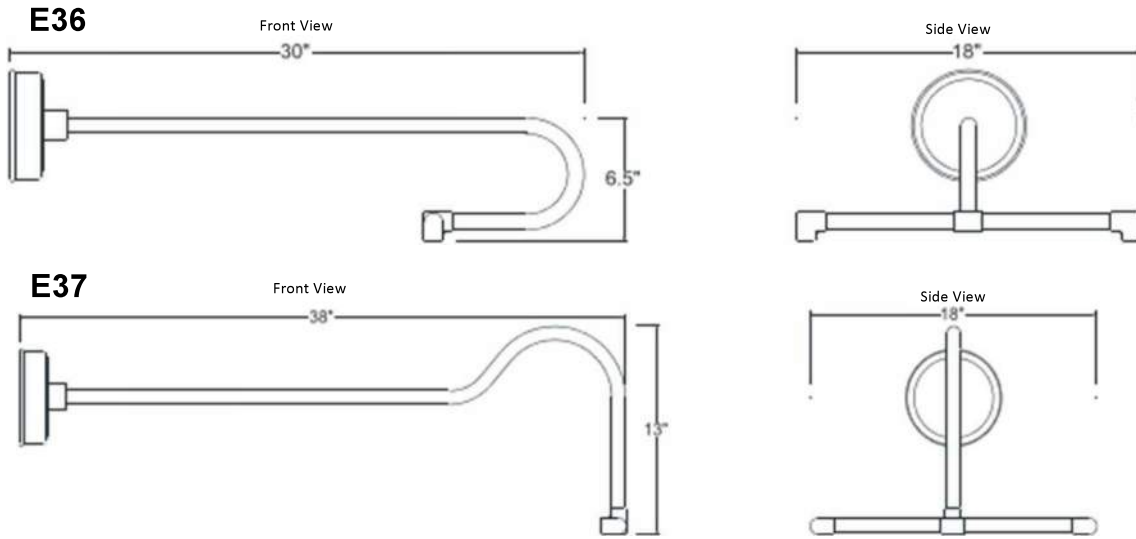
Evergreen will take your sketch and fabricate a custom arm extension to meet your needs.



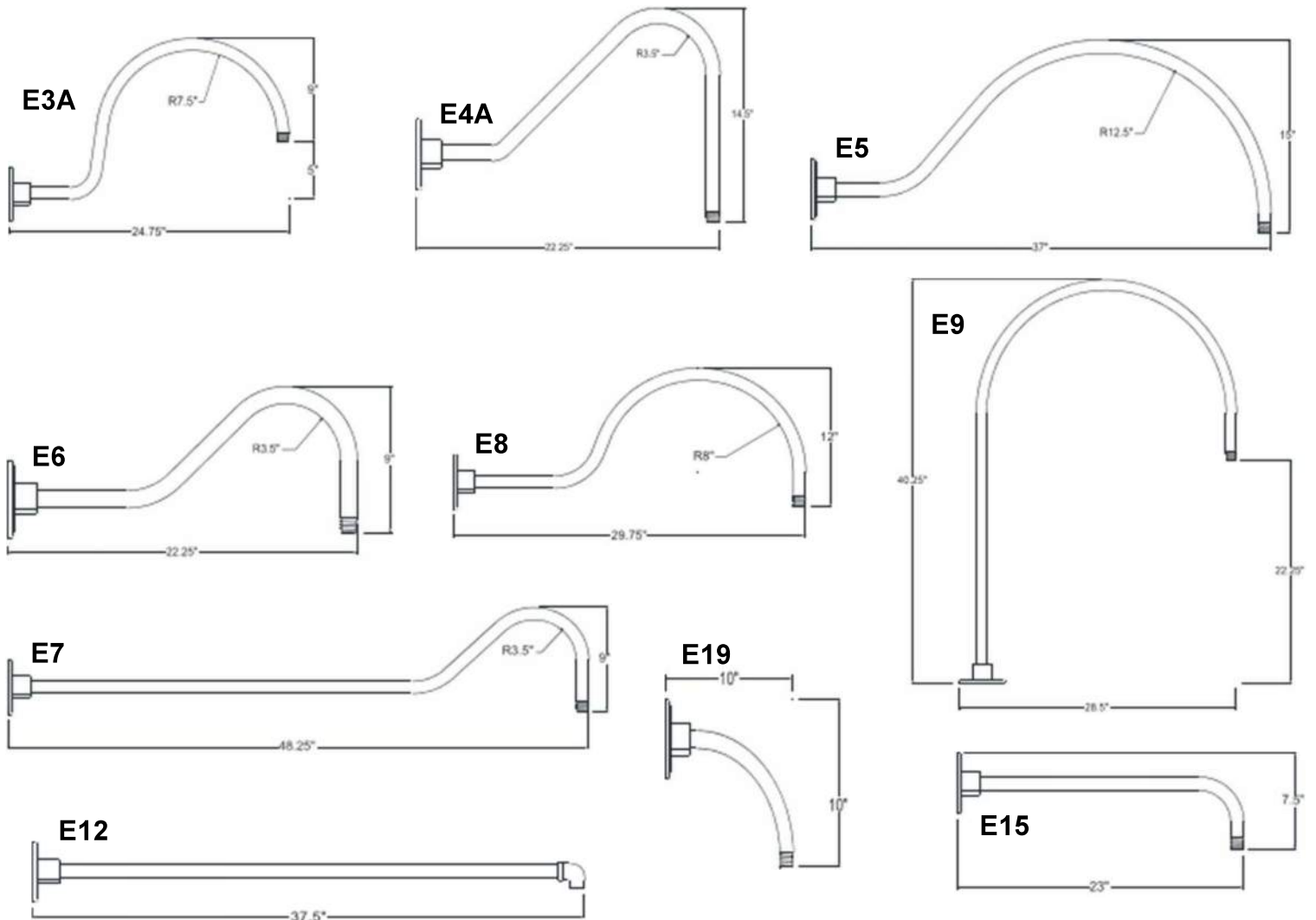
Evergreen will take your sketch and fabricate a custom arm extension to meet your needs.



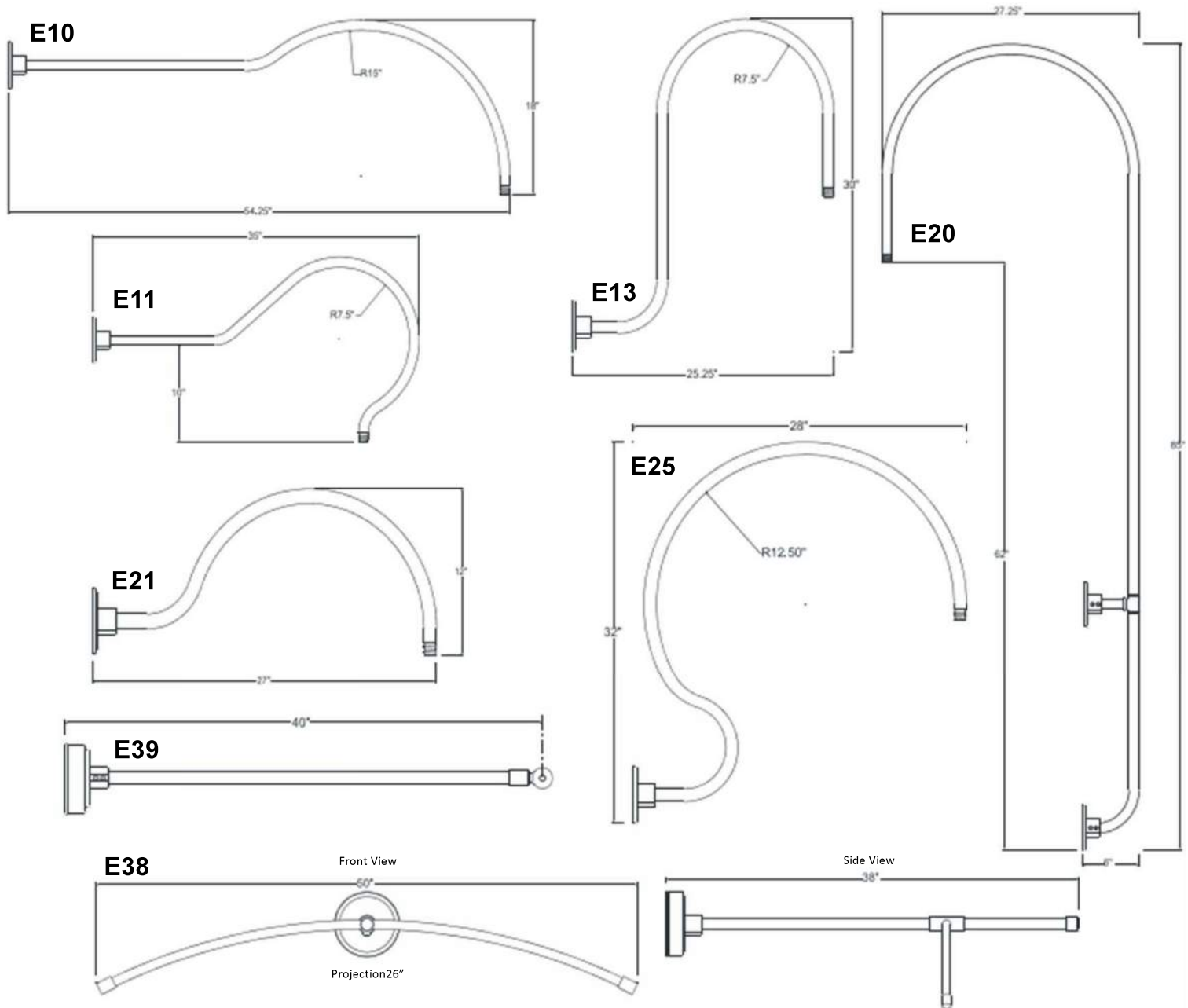
## C-MOUNTING OPTIONS (CONTINUED)



## 3/4" ARM EXTENSIONS



## C-MOUNTING OPTIONS (CONTINUED)

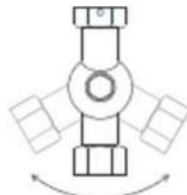


## D- MOUNTING ADD-ONS



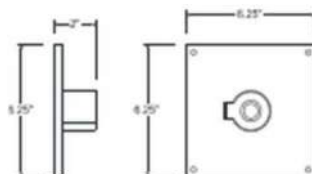
**SMSWL** 1/2" NPT swivel

For all arms 7" wide in diameter or smaller



**LGSWL** 1/2" NPT swivel

For all arms greater than 7" wide in diameter



**SQ 1/2"** Square Backplate  
**SQ 3/4"** Square Backplate  
(Additional charges may apply)



**TRB 1/2" 4' Cable** Support  
**TRB 3/4" 4' Cable** Support



## F\_ LIGHT SOURCE

OPTION	WATTAGE	LUMENS		CRI	VOLTAGE	DIMMING
LEDS (LED)						
LED7W	7W	700	840	>90	120-277 VAC	0-10V
LED12W	12W	1200	1440	>90	120-277 VAC	0-10V
LED25W	25W	2500	3000	>90	120-277 VAC	0-10V

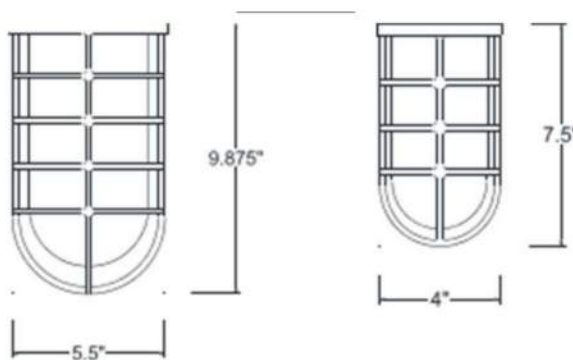
<b>INCANDESCENT</b>						
OPTION	WATTAGE	LUMENS		CRI	VOLTAGE	DIMMING
60WINC	60W	PER BULB SPECS		>90	120-277 VAC	N/A
100WINC	100W	PER BULB SPECS		>90	120-277 VAC	N/A

<b>COMPACT FLUORESCENT GU24 BASE</b>						
OPTION	WATTAGE	LUMENS		CRI	VOLTAGE	DIMMING
CF13W	13W	PER BULB SPECS		>90	120-277 VAC	N/A
CF26W	26W	PER BULB SPECS		>90	120-277 VAC	N/A
CF32W	32W	PER BULB SPECS		>90	120-277 VAC	N/A
CF42W	42W	PER BULB SPECS		>90	120-277 VAC	N/A

## H - ACCESSORIES



- GR7** 7" WIRE GRILL
- GR8** 8" WIRE GRILL
- GR10** 10" WIREGRILL
- GR12** 12" WIRE GRILL
- GR14** 14" WIRE GRILL
- GR16** 16" WIRE GRILL
- GR18** 18" WIRE GRILL



**GU-2** WIRE GUARD

**GU-1** CAST GUARD

<b>GLASS – DIMENSIONS</b>	
<b>3" GLASS</b>	
Diameter	3.34"
Height	6.93"
Fitter	3.29"
<b>4" GLASS</b>	
Diameter	4.34"
Height	8.37"
Fitter	4.29"



## Lourdes Ptschelinzew

---

**From:** Chris Torrence <chris@ctelectricutility.com>  
**Sent:** Thursday, March 2, 2023 3:24 PM  
**To:** Lourdes Ptschelinzew  
**Cc:** Damian Riley  
**Subject:** Re: Williston Arcade & Main Street Enhancements - Added Light Fixtures to Parcel O North Wall

- Option 1 - Replace two (see cutsheet attached) of the three current fixtures with an up-down fixture that illuminates the signage better, and still provides some light for pedestrians below. Removed fixtures to be provided to owner as attic stock. **\$840.00 mounting the light on existing box**
- Option 2 - Keep existing fixtures as-is. Add two (2) fixtures, mounting above each sign. This would entail running conduit up and over the wall from the boxes on the south side. There are a couple different layouts that are available to us. See pdf showing a layout with one fixture above each sign or two fixtures at each sign.

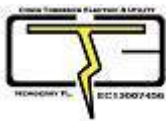
**2A: \$2,400.00**

**2B: \$2,900.00**

### Chris Torrence Electric & Utility

(352) 224-8672

EC13005152



---

**From:** Lourdes Ptschelinzew <lourdes@oelrichconstruction.com>  
**Sent:** Thursday, March 2, 2023 2:22 PM  
**To:** Chris Torrence <chris@ctelectricutility.com>  
**Cc:** Damian Riley <driley@oelrichconstruction.com>  
**Subject:** Williston Arcade & Main Street Enhancements - Added Light Fixtures to Parcel O North Wall

Chris,

The user group wants to change the lighting on the north side of that Parcel O wall so that those painted signs can be illuminated.

We finally received information from the architects (attached), and their intent below:

- Option 1 - Replace two (see cutsheet attached) of the three current fixtures with an up-down fixture that illuminates the signage better, and still provides some light for pedestrians below. Removed fixtures to be provided to owner as attic stock.
- Option 2 - Keep existing fixtures as-is. Add two (2) fixtures, mounting above each sign. This would entail running conduit up and over the wall from the boxes on the south side. There are a couple different layouts that are available to us. See pdf showing a layout with one fixture above each sign or two fixtures at each sign.



# Williston Arcade & Main Street Enhancements

## CHANGE ORDER PROPOSAL LOG

Tuesday, April 4, 2023



**OELRICH**  
CONSTRUCTION  
INC.

COP	Description	Status	Estimated Cost		Submitted Cost		Executed Changes		Schedule Impact	Date Submitted	Date Approved	CO#
			CM Contingency	Contract	CM Contingency	Contract	CM Contingency	Contract				
			-	-	-	-	-	-				
001	Adjusted Permit Fee Costs	EXECUTED	-	-	-	-	\$ 4,604.04	-	0.0	7/28/2022	8/8/2022	-
002	Added Framing due to Termite Damage	EXECUTED	-	-	-	-	\$ 1,200.00	-	0.0	7/28/2022	8/8/2022	-
003	Added Performance & Warranty Bond	EXECUTED	-	-	-	-	\$ 151.00	-	0.0	8/22/2022	9/15/2022	-
004	Pilaster Column Modifications (RFI #8) & Existing Conditions	EXECUTED	-	-	-	-	\$ 9,058.00	-	0.0	8/22/2022	9/15/2022	-
005	Emergency Lighting Requirement	EXECUTED	-	-	-	-	\$ 2,038.00	-	0.0	8/22/2022	9/15/2022	-
006	Parcel-O East Wall Reconstruction	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
007	Added Sabal Palms-	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
008	Schedule Impacts & Milestone Updates	SUBMITTED	-	-	-	\$ -	-	-	111.0	4/4/2023		
009	Arcade Trim Widening (RFI #10)	EXECUTED	-	-	-	-	\$ 500.00	-	0.0	10/18/2022	10/20/2022	-
010	Awning Support Modifications	EXECUTED	-	-	-	-	\$ 9,590.00	-	0.0	10/21/2022	10/21/2022	-
011	Awning Water Exits (RFI #9)	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
012	Added Skylight Trim (RFIs #15)	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
013	Additional Contingency	EXECUTED	-	-	-	-	\$ (16,500.00)	-	0.0	3/1/2023	3/13/2023	-
014	Repurposed Paver Installation	CLOSED - CANCELLED	-	-	-	-	-	-	-	-	-	-
015	Additional Awning Support Labor (COP #010)	SUBMITTED	-	-	\$ 14,700.00	-	-	-	0.0	2/22/2023		
016	Added Louvers	EXECUTED	-	-	-	-	\$ 1,205.00	-	0.0	12/2/2022	12/13/2022	-
017	Alternate Breaker Service Disconnects	EXECUTED	-	-	-	-	\$ (1,720.00)	-	0.0	12/21/2022	12/27/2022	-
018	Mural Painting Contract Deduct	SUBMITTED	-	-	-	\$ (21,700.00)	-	-	0.0	2/22/2023		
019	Masonry Patching at Existing Conditions	EXECUTED	-	-	-	-	\$ 1,822.00	-	2.0	1/31/2023	2/14/2023	-
020	Parcel O North Wall Lighting & Returned Contingency	SUBMITTED	-	-	\$ 2,129.96	\$ 4,610.00	-	-	3.0	4/4/2023		
021			-	-	-	-	-	-				
022			-	-	-	-	-	-				
023			-	-	-	-	-	-				
024			-	-	-	-	-	-				
025			-	-	-	-	-	-				
SUBTOTALS			0.00	0.00	16,829.96	(17,090.00)	11,948.04	0.00	116.00			

GMP AMOUNT
CURRENT TOTALS
ESTIMATED AMOUNTS

	CONTINGENCY	GMP	CONTRACT TIME
Original Contract Amount:	28,778.00	761,960.00	84.00
Total with Currently Executed Changes:	16,829.96	761,960.00	200.00
Total If All Estimated & Submitted Costs Were Approved:	0.00	744,870.00	